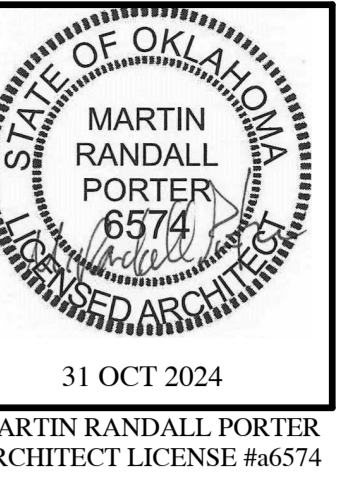


RIVER BEND VILLAS

CHICKASHA, GRADY COUNTY, OKLAHOMA



PROJECT INFORMATION

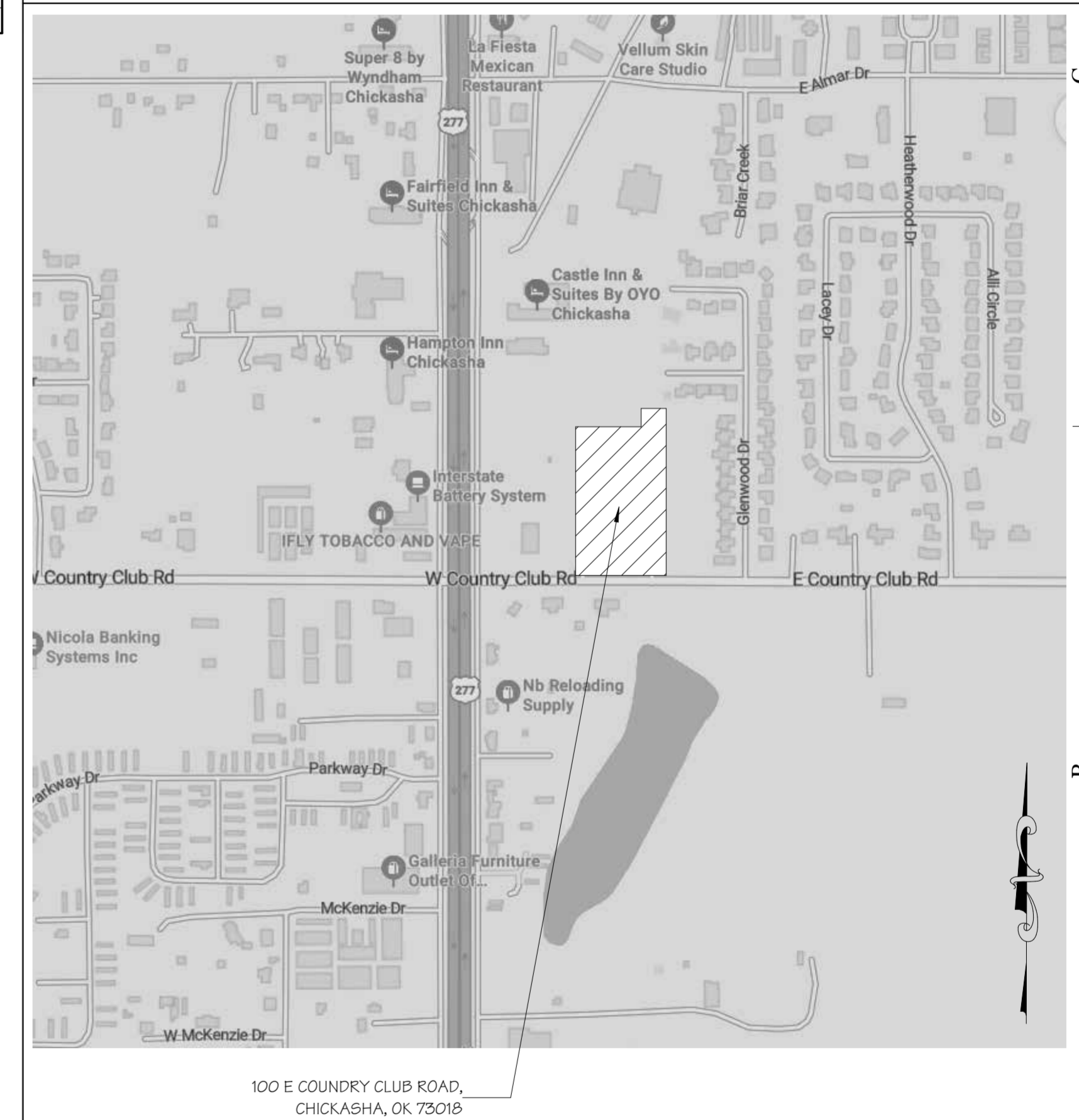
SITE DATA	
SITE ZONING:	(SEE SPECIFIC BUILDING COVER SHEETS)
SITE SIZE:	(SEE SPECIFIC BUILDING COVER SHEETS)
SITE DENSITY:	(SEE SPECIFIC BUILDING COVER SHEETS)
NO. OF PARKING SPACES:	(SEE SPECIFIC BUILDING COVER SHEETS)
CODES AND REGULATIONS	
BLDG. & RELATED CODES:	2018 IEBC (ALTERATION LEVEL 1), 2018 IBC AND FAMILY OF CODES, 2014 ICC 500
ELECT. CODE:	2020 NEC
FIRE CODE:	2018 IFC
ACCESSIBILITY:	UFAS, 2010 ADA AT PUBLIC USE AREAS
OHFA:	OHFA STATE POLICIES AND GUIDELINES
MISC.:	ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, LAWS AND ORDINANCES
BUILDING CODE DATA	
USE GROUP:	(SEE SPECIFIC BUILDING COVER SHEETS)
CONSTRUCTION TYPE:	(SEE SPECIFIC BUILDING COVER SHEETS)
EXT. WALL CONSTRUCTION:	(SEE SPECIFIC BUILDING COVER SHEETS)
OTHER CONSTRUCTION:	(SEE SPECIFIC BUILDING COVER SHEETS)
ALLOW. AREA PER FLOOR:	(SEE SPECIFIC BUILDING COVER SHEETS)
AREA ADJUSTMENTS:	(SEE SPECIFIC BUILDING COVER SHEETS)
ACTUAL AREA PER FLOOR:	(SEE SPECIFIC BUILDING COVER SHEETS)
ALLOW. HEIGHT & FLOORS:	(SEE SPECIFIC BUILDING COVER SHEETS)
HEIGHT ADJUSTMENTS:	(SEE SPECIFIC BUILDING COVER SHEETS)
ACTUAL HEIGHT & FLOORS:	(SEE SPECIFIC BUILDING COVER SHEETS)
SPRINKLER SYSTEM:	(SEE SPECIFIC BUILDING COVER SHEETS)

INDEX TO DRAWINGS

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date	Current Revision Description
1- COVER SHEET				
0.0M COVER SHEET		31 OCT 2024	31 OCT 2024	ISSUE SET
2 - RESIDENTIAL BUILDING SET				
0.0R RESIDENTIAL COVER SHEET		31 OCT 2024	31 OCT 2024	ISSUE SET
3 - STORM SHELTER BUILDING SET				
0.0S STORM SHELTER COVER SHEET		31 OCT 2024	31 OCT 2024	ISSUE SET

ARCHITECT'S JOB NO. 4780
OHFA PROJECT #24-01-06

PROJECT LOCATION MAP



SIGNATURE AREAS

NOTE: PROJECT CONSTRUCTION MUST BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, AND REGULATIONS AS ENUMERATED ELSEWHERE IN THE PLANS AND SPECIFICATIONS.

ARCHITECT: WALLACE ARCHITECTS, LLC
302 CAMPUSVIEW DRIVE SUITE 208, COLUMBIA, MO 65201
BY: _____ DATE: _____

OWNER: RIVER BEND VILLAS, LP
3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804
BY: _____ DATE: _____

CONTRACTOR: MURDOCH CONTRACTING, LLC
3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804
BY: _____ DATE: _____

USDA RURAL DEVELOPMENT:
1400 INDEPENDENCE AVE., WASHINGTON, DC 20-250-0701
BY: _____ DATE: _____

PM: RS DT: BZ
PC: CD QC: CR/JT

PLAN SET NO. _____

ISSUE SET

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS, LLC
Columbia, MO
P 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
ca01173

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PROJECT 1ST ISSUED

31 OCT 2024

ISSUE/REVISIONS

▲ 31 OCT 2024 ISSUE SET

▲

▲

▲

▲

SHEET NO. **0.0M**

JOB NO.
4780

1/17/2024 4:04:46 PM

RIVER BEND VILLAS

CHICKASHA, GRADY COUNTY, OKLAHOMA



RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

PROJECT INFORMATION

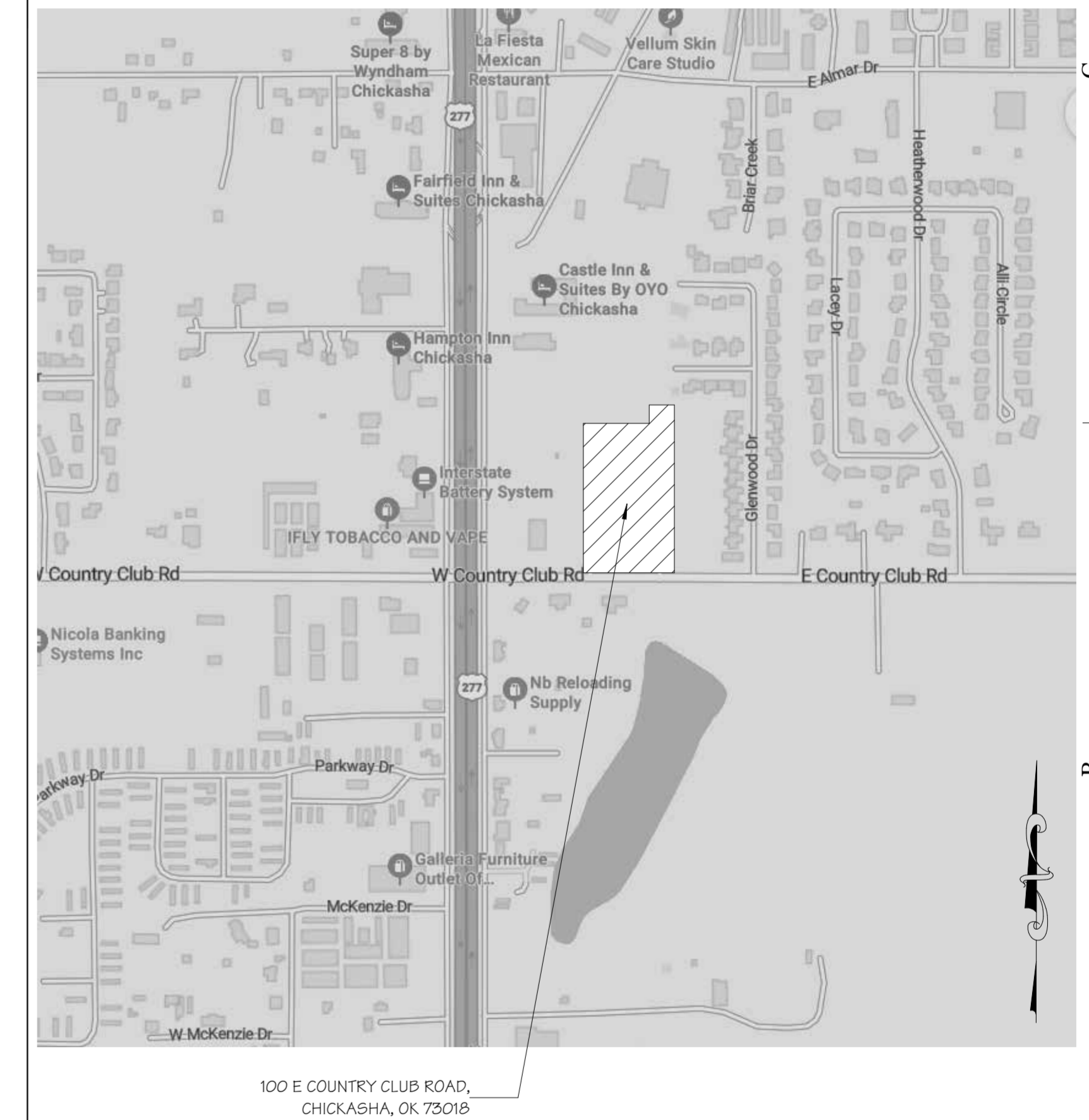
SITE DATA					
SITE ZONING:	EXISTING TO REMAIN				
SITE SIZE:	EXISTING TO REMAIN				
SITE DENSITY:	EXISTING TO REMAIN				
NO. OF PARKING SPACES:	(86) TYPICAL + (4) ACC. & (1) VAN ACC. = (91) TOTAL				
BUILDING DATA					
DWELLING UNITS	LABEL	COMPLIANC E WITH	GROSS SQ FT	QTY	SUBTOTAL
1-BR UNIT	TYP. -		675	3	2,025 SF
1-BR UNIT	UFAS	UFAS	675	1	675 SF
2-BR UNIT	TYP. -		793	30	23,790 SF
2-BR UNIT	TYP./AV	AV	793	1	793 SF
2-BR UNIT	UFAS	UFAS	793	1	793 SF
3-BR-A UNIT	TYP. -		980	7	6,860 SF
3-BR-B UNIT	TYP. -		1350	2	2,700 SF
3-BR UNIT	UFAS	UFAS	980	1	980 SF
DWELLING UNIT AREA:				46	38,616 SF
NON-DWELLING AREA:	OFFICE/LAUNDRY/MAINT.				997 SF
TOTAL BUILDING AREA:					39,613 SF
RENTAL UNITS BY BUILDING:	BLDG. #1/2 = (7) TYP. 2-BR UNITS, (1) TYP./AV 2-BR UNIT;				
	BLDG. #3/4 = (8) TYP. 2-BR UNITS;				
	BLDG. #5 = (2) TYP. 3-BR-A UNITS;				
	BLDG. #6 = (1) TYP. 3-BR-A UNIT, (1) UFAS 3-BR UNIT;				
	BLDG. #7 = (1) TYP. 1-BR UNIT, (1) UFAS 1-BR UNIT, (1) TYP. 3-BR-B UNIT;				
	BLDG. #8 = (2) TYP. 1-BR UNITS, (1) TYP. 3-BR-B UNIT;				
	BLDG. #9 = (2) TYP. 3-BR-A UNITS;				
	BLDG. #10 = (2) TYP. 3-BR-A UNITS;				
	BLDG. #11/12 = (8) TYP. 2-BR UNITS;				
	BLDG. #13/14 = (7) TYP. 2-BR UNITS, (1) UFAS 2-BR UNIT				
	TOTAL UNITS = (46)				
CODES AND REGULATIONS					
BLDG. & RELATED CODES:	2018 IEBC (ALTERATION LEVEL 1), 2018 IBC AND FAMILY OF CODES, 2014 ICC 500				
ELECT. CODE:	2020 NEC				
FIRE CODE:	2018 IFC				
ACCESSIBILITY:	UFAS, 2010 ADA AT PUBLIC USE AREAS				
OHFA:	OHFA STATE POLICIES AND GUIDELINES				
MISC.:	ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, LAWS AND ORDINANCES				
BUILDING CODE DATA					
USE GROUP:	R-2				
CONSTRUCTION TYPE:	EXISTING VLB (ASSUMED)				
EXT. WALL CONSTRUCTION:	EXISTING NON-RATED (ASSUMED)				
OTHER WALL CONSTRUCTION:	EXISTING 1-HR RATED DWELLING UNIT SEPARATION (ASSUMED)				
TOTAL ALLOW. AREA:	7,000 SF PER FLOOR				
TOTAL ACTUAL AREA:	EXISTING TO REMAIN				
ALLOW. HEIGHT & FLOORS:	40' & 2 STORIES				
ACTUAL HEIGHT & FLOORS:	EXISTING TO REMAIN				
HEIGHT/AREA ADJUSTMENTS:	(NONE REQUIRED, NONE TAKEN)				
OCCUPANT LOAD	EXISTING TO REMAIN				
SPRINKLER SYSTEM:	(NONE REQUIRED, NONE PROVIDED)				
	NOTE: PROJECT FIRST OCCUPIED APPROX. 1969, FHA DOES NOT APPLY				

INDEX TO DRAWINGS

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date	Current Revision Description
1 - COVER SHEET				
0.0R	COVER SHEET	31 OCT 2024	31 OCT 2024	ISSUE SET
2 - SCOPE OF WORK				
SCLOR	SCOPE OF WORK	31 OCT 2024	31 OCT 2024	ISSUE SET
3 - ARCHITECTURAL				
AS1.0R	ARCHITECTURAL SITE PLAN	31 OCT 2024	31 OCT 2024	ISSUE SET
ASD1.0R	ARCHITECTURAL SITE DETAILS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
ASD1.1R	ARCHITECTURAL SITE DETAILS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
ASD1.2R	ARCHITECTURAL SITE DETAILS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
ASD1.3R	ARCHITECTURAL SITE DETAILS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
4 - ARCHITECTURAL				
A1.0R	BUILDING TYPES "A, B & C" FLOOR PLANS	31 OCT 2024	31 OCT 2024	ISSUE SET
A1.1R	TYP. 1-BR & UFAS 1-BR UNIT PLANS, DOOR SCHEDULE, WALL TYPES & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A1.2R	TYP. 2-BR, UFAS 2-BR & TYP. 3-BR-A UNIT PLANS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A1.3R	TYP. 3-BR-B & UFAS 3-BR UNIT PLANS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A1.4R	OFFICE/LAUNDRY/MAINT. FLOOR PLANS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A1.5R	UFAS 1-BR, UFAS 2-BR, UFAS 3-BR & OFFICE/LAUNDRY/MAINT. MANEUVERING CLEARANCE PLANS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A3.0R	BUILDING TYPE "A" EXTERIOR ELEVATIONS, WINDOW SCHEDULE, DETAILS & NOTES	31 OCT 2024	31 OCT 2024	ISSUE SET
A3.1R	BUILDING TYPES "B & C" EXTERIOR ELEVATIONS	31 OCT 2024	31 OCT 2024	ISSUE SET
A3.2R	OFFICE/LAUNDRY/MAINT. EXTERIOR ELEVATIONS	31 OCT 2024	31 OCT 2024	ISSUE SET
A6.0R	TYP. 1-BR, UFAS 1-BR & TYP. 2-BR FINISH PLANS & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
A6.1R	UFAS 2-BR, TYP. 3-BR-A & TYP. 3-BR-B FINISH PLANS & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
A6.2R	UFAS 3-BR & OFFICE/LAUNDRY/MAINT. FINISH PLANS & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
A7.0R	INTERIOR ELEVATIONS NOTES AND DETAILS	31 OCT 2024	31 OCT 2024	ISSUE SET
A7.1R	TYP. 1-BR, UFAS 1-BR, TYP. 2-BR, UFAS 2-BR, TYP. 3-BR-B & UFAS 3-BR INTERIOR ELEVATIONS	31 OCT 2024	31 OCT 2024	ISSUE SET
A7.2R	TYP. 3-BR-A, TYP. 3-BR-B, UFAS 3-BR & OFFICE/LAUNDRY/MAINT. INTERIOR ELEVATIONS & SIGNAGE DETAILS	31 OCT 2024	31 OCT 2024	ISSUE SET
5 - MECHANICAL				
M1.0R	TYP. 1-BR, UFAS 1-BR & TYP. 2-BR HVAC PLANS, NOTES, SCHEMATICS & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
M1.1R	UFAS 2-BR, TYP. 3-BR-A & TYP. 3-BR-B HVAC PLANS	31 OCT 2024	31 OCT 2024	ISSUE SET
M1.2R	UFAS 3-BR & OFFICE/LAUNDRY/MAINT. HVAC PLANS & SCHEMATICS	31 OCT 2024	31 OCT 2024	ISSUE SET
6 - PLUMBING				
P1.0R	TYP. 1-BR, UFAS 1-BR & TYP. 2-BR PLUMBING PLANS, NOTES, SCHEMATIC & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
P1.1R	UFAS 2-BR, TYP. 3-BR-A & TYP. 3-BR-B PLUMBING PLANS & SCHEMATIC	31 OCT 2024	31 OCT 2024	ISSUE SET
P1.2R	UFAS 3-BR & OFFICE/LAUNDRY/MAINT. PLUMBING PLANS & SCHEMATIC	31 OCT 2024	31 OCT 2024	ISSUE SET
7 - ELECTRICAL				
E1.0R	TYP. 1-BR, UFAS 1-BR & TYP. 2-BR ELECTRICAL PLANS, NOTES, MOUNTING HEIGHT DETAIL & SCHEDULES	31 OCT 2024	31 OCT 2024	ISSUE SET
E1.1R	UFAS 2-BR, TYP. 3-BR-A & TYP. 3-BR-B ELECTRICAL PLANS	31 OCT 2024	31 OCT 2024	ISSUE SET
E1.2R	UFAS 3-BR & OFFICE/LAUNDRY/MAINT. ELECTRICAL PLANS	31 OCT 2024	31 OCT 2024	ISSUE SET

ARCHITECT'S JOB NO. 4780
OHFA PROJECT #24-01-06

PROJECT LOCATION MAP



SIGNATURE AREAS

NOTE: PROJECT CONSTRUCTION MUST BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, AND REGULATIONS AS ENUMERATED ELSEWHERE IN THE PLANS AND SPECIFICATIONS.

ARCHITECT: WALLACE ARCHITECTS, LLC
302 CAMPUSVIEW DRIVE SUITE 208, COLUMBIA, MO 65201

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3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804

CONTRACTOR: MURDOCH CONTRACTING, LLC
3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804

USDA RURAL DEVELOPMENT:
1400 INDEPENDENCE AVE., WASHINGTON, DC 200-250-0701

PM: RS DT: BZ
PC: CD QC: CR/JT

PLAN SET NO. _____

ISSUE SET

Wallace
ARCHITECTS, LLC
Columbia, MO
P. 573-2567-2200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
ca01173
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PROJECT 1ST ISSUED
31 OCT 2024

ISSUE/REVISIONS
31 OCT 2024 ISSUE SET

SHEET NO. 0.0R
JOB NO. 4780
1/17/2024 12:00:13 PM

SCOPE OF WORK

SITework KEYNOTES

- 51 REMOVE EXISTING AND INSTALL NEW BRICK MONUMENT SIGN AT EXISTING MONUMENT SIGN LOCATION AS INDICATED ON THE SITE PLAN
52 AT AREAS OF EXISTING ASPHALT OVERLAY MILL EXISTING ASPHALT PARKING LOT AND ASSOCIATED DRIVEWAYS. PROVIDE BASE COURSE REPAIR AS INDICATED ON ARCHITECTURAL SITE PLAN. PROVIDE 2" ASPHALT OVERLAY AFTER BASE COURSE REPAIRS
53 PROVIDE CONCRETE REPAIRS ALONG WEST DRIVE. WHERE THERE ARE AREAS OF BROKEN-UP CONCRETE, REMOVE, ESTABLISH BASE, PIN REINFORCEMENT, PROVIDE ISOLATION JOINTS AND POUR BACK NEW CONCRETE (3,000 PSI MIN.); AT LOCATIONS OF ISOLATED SHORT AND LONG RUN CRACKING, SAW KEF CRACKS, INSTALL BACKER ROD AND TRAFFIC GRADE SELF-LEVELING POLYURETHANE CAULK
54 STRIPE PARKING LOT AFTER ASPHALT OVERLAY (VERIFY COLOR WITH AHJ)
55 REMOVE EXISTING AND INSTALL NEW ACCESSIBLE RESERVED PARKING SIGNAGE (COORDINATE PENALTY AMOUNT WITH AHJ)
56 INSTALL NEW PARKING WHEEL STOPS AT LOCATIONS INDICATED ON SITE PLAN
57 INSTALL NEW ACCESSIBLE REAR APPROACH MASONRY DUMPSTER ENCLOSURE AT THE LOCATION INDICATED ON THE SITE PLAN
58 REMOVE EXISTING TRASH ENCLOSURES AND CONCRETE PADS AS INDICATED ON THE SITE PLAN
59 REMOVE EXISTING AND INSTALL NEW PEDESTAL MOUNTED MAILBOXES ON NEW ACCESSIBLE CONCRETE PAD AT LOCATION INDICATED ON THE SITE PLAN
510 REMOVE EXISTING AND INSTALL NEW ACCESSIBLE PICNIC AREA ON ACCESSIBLE CONCRETE PAD WITH (2) PICNIC TABLE(S) AND (3) BBQ GRILL(S) (PROPERLY ANCHORED TO NEW CONCRETE SLAB)
511 REMOVE EXISTING AND INSTALL NEW PLAYGROUND EQUIPMENT AND ACCESSIBLE OBSERVATION BENCH (ON A NEW ACCESSIBLE CONCRETE PAD) AS INDICATED ON THE SITE PLAN (INCLUDING ACCESSIBLE BORDERS & SOFT FALL SURFACE MATERIAL.)
512 REMOVE EXISTING RAMP RAILINGS AND INSTALL NEW STEEL HANDRAILS & GUARDRAILS AT LOCATIONS INDICATED ON THE SITE PLAN PRIME & PAINT (COLOR BY OWNER); INSTALL NEW STEEL STAIR HANDRAILS & RAMP GUARDRAILS AT LOCATIONS INDICATED ON THE SITE PLAN, PRIME & PAINT (COLOR BY OWNER); SEE ARCHITECTURAL SITE DETAILS
513 DEMO THE EXISTING ACCESSIBLE CONCRETE PARKING SPACE AND THE SIDEWALK IN FRONT OF THE OLM BUILDING AND INSTALL NEW ACCESSIBLE SIDEWALK AS INDICATED ON THE SITE PLAN
514 VERIFY OWNERSHIP OF EXISTING SITE LIGHTING. IF PROPERTY OWNED, REPLACE ALL EXISTING FIXTURES WITH NEW 10' FIBERGLASS POLES WITH LED FIXTURES
515 PROVIDE TERMITE INSPECTION AND TREATMENT AS NEEDED
516 PROVIDE LANDSCAPING PER ALLOWANCE
517 PROVIDE OVERALL FINISH GRADING, RESEED & MULCH DISTURBED AREAS, PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND SIDEWALKS - 5% SLOPE MINIMUM FOR FIRST 10'-0"
518 PROVIDE TREE TRIMMING/REMOVAL WITHIN 10'-0" OF BUILDINGS
519 REMOVE EXISTING WOOD RETAINING WALL AND INSTALL NEW SEGMENTAL BLOCK RETAINING WALL AT LOCATIONS INDICATED ON PLANS (MODEL SELECTED BY OWNER)
520 PROVIDE NEW PROPERTY WAYFINDING SIGNAGE AS DIRECTED
521 PROVIDE ALL TRADEWORK NECESSARY TO CONSTRUCT NEW STORM SHELTER BUILDING PER PLANS, INCLUDING BUT NOT LIMITED TO REINFORCED FOUNDATION, FRAMING, MEP, SLAB, WALLS & LID, DOORS, ROOFING, FINISHES ETC.
522 INSTALL NEW SPORT COURT (46' x 30') ON NEW CONCRETE PAD ALONG THE ACCESSIBLE PATH PER PLANS. INSTALL NEW 12'-0" VINYL-COATED, STEEL CHAIN LINK FENCE AROUND THE PERIMETER (ALL COLORS ARE TO BE SELECTED BY OWNER) AND AN ACCESSIBLE OBSERVATION BENCH ON NEW ACCESSIBLE PAD (2% MAX. SLOPE IN ALL DIRECTIONS); ALL COLORS RENOVATION WIDE TO BE SELECTED BY OWNER

CONCRETE KEYNOTES

(SEE SITE WORK FOR ADDITIONAL SCOPE)

- C1 REMOVE EXISTING DAMAGED OR NON-COMPLIANT SIDEWALKS/CURBWALKS THROUGHOUT. INSTALL NEW ACCESSIBLE SIDEWALKS/CURBWALKS AS INDICATED ON THE SITE PLAN
C2 CONSTRUCT NEW ACCESSIBLE WHEELCHAIR CURB RAMP(S) AT LOCATION(S) INDICATED ON THE SITE PLAN
C3 INSTALL NEW CONCRETE SLABS AT ACCESSIBLE PARKING SPACES, NOT TO EXCEED 2% MAX. SLOPE IN ALL DIRECTIONS AS INDICATED ON SITE PLAN
C4 INSTALL NEW ACCESSIBLE CONCRETE CROSSWALK(S), NOT TO EXCEED 2% MAX SLOPE IN ALL DIRECTIONS WITH STRIPING AS INDICATED ON THE SITE PLAN
C5 INSTALL NEW ACCESSIBLE CONCRETE PADS, NOT TO EXCEED 2% MAX SLOPE IN ALL DIRECTIONS FOR OBSERVATION BENCH(ES) AS INDICATED ON THE SITE PLAN
C6 REMOVE EXISTING AND INSTALL NEW (PRE-CAST) CONCRETE CONDENSING UNIT PADS
C7 INSTALL NEW ACCESSIBLE CONCRETE DUMPSTER ENCLOSURE PAD AND REINFORCED 6" THICK HEAVY-DUTY CONCRETE APRON EXTENSION (10'-0" MIN.) FROM FRONT OF ENCLOSURE AT LOCATION INDICATED ON THE SITE PLAN; SEE ARCHITECTURAL SITE DETAILS
C8 REMOVE EXISTING AND INSTALL NEW ACCESSIBLE CONCRETE MAILBOX PAD AT LOCATION INDICATED ON THE SITE PLAN
C9 REMOVE EXISTING AND INSTALL NEW ACCESSIBLE CONCRETE SIDEWALKS TO ALL SITE AMENITIES AS INDICATED ON THE SITE PLAN
C10 INSTALL NEW ACCESSIBLE CONCRETE SIDEWALK/CURB WALK TO PUBLIC ROW. INSTALL NEW DETECTABLE WARNING MAT WITHIN 5'-0" OF PUBLIC ROW AS INDICATED ON SITE PLAN
C11 PROVIDE 5'-0" X 5'-0" CONCRETE LANDING AT ALL UFAS ENTRIES WITH 2% MAX SLOPE IN ALL DIRECTIONS

UNIT INTERIOR KEYNOTES

- U1 PROVIDE UFAS APARTMENT(S) (5% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATIONS
U2 PROVIDE 1 AUDIO/VISUAL APARTMENT (2% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATION
U3 PROVIDE GENERAL DEMO; DOORS, TRIM, CABINETS, PLUMBING, HVAC, APPLIANCES ETC. TO INCLUDE ACCESSIBILITY CLEARANCES AT UFAS UNITS AS INDICATED ON PLANS
U4 RE-ATTACH ANY LOOSE 2ND FLOOR DECKING AND REPLACE MOISTURE DAMAGED AREAS; FASTEN WITH UNDERLAYMENT SCREWS
U5 AT ALL UFAS UNITS INSTALL SOLID 2X8 MIN. WOOD BLOCKING AND GRAB BARS AT TOILETS PER INTERIOR ELEVATIONS
U6 PROVIDE DRYWALL PATCHING AND REPAIRS AS NEEDED, INSTALL NEW DRYWALL AT NEW WALLS PER UNIT PLANS; PROVIDE FINISH/TEXTURE PER FINISH SCHEDULE(S)
U7 REMOVE EXISTING AND INSTALL NEW 3-PANEL INTERIOR DOORS PER DOOR SCHEDULE; AT UFAS UNITS, PROVIDE ACCESSIBLE THRESHOLDS AND ACCESSIBILITY CLEARANCES AS REQUIRED
U8 REMOVE EXISTING AND INSTALL NEW KITCHEN CABINETS (BASE, UPPER AND P-LAM COUNTERTOP) AS INDICATED ON PLANS; INSTALL ACCESSIBLE CABINETS IN UFAS UNIT(S), LIP OF SINK TO BE 34" MAX. A.F.F.
U9 REMOVE EXISTING AND INSTALL NEW BATHROOM VANITY CABINETS (BASE & P-LAM COUNTERTOP) AS INDICATED ON PLANS. INSTALL NEW ACCESSIBLE APRON-STYLE VANITY WITH DROP-IN SINK/WALL HUNG LAVATORY AT UFAS UNIT(S)
U10 REMOVE EXISTING AND INSTALL NEW LUXURY VINYL PLANK FLOORING PER FINISH SCHEDULE (LOW VOC) PATTERN & COLOR SELECTED BY OWNER
U11 REMOVE EXISTING AND INSTALL NEW 5 1/4" PRE-PRIMED PINE BASE TRIM PER FINISH SCHEDULE
U12 REMOVE EXISTING AND INSTALL NEW WOOD PRIMED PINE WINDOW SILLS (PAINT COLOR SELECTED BY OWNER)
U13 VERIFY EQUIVALENT R-VALUE OF EXISTING ATTIC INSULATION. PROVIDE BLOWN-IN CELLULOSE INSULATION TO ACHIEVE AN R-38 RATING IN THE ATTICS OF ALL BUILDINGS
U14 PROVIDE PRIMER & PAINTING AT ALL INTERIOR WALLS, CEILINGS, DOORS (ALL 6 SIDES) AND TRIM (LOW VOC) ONE COLOR/ONE SHEEN SELECTED BY OWNER
U15 SCRAPE/REMOVE EXISTING "POPCORN" CEILING TEXTURE THROUGHOUT ALL UNITS AND REPLACE WITH NEW "KNOCKDOWN" TEXTURE PER FINISH SCHEDULE
U16 REMOVE EXISTING AND INSTALL NEW FLOOR MOUNTED DOORSTOPS PER SPECS
U17 REMOVE ALL EXISTING SHELVING AND INSTALL NEW VINYL COATED WIRE SHELVING AS INDICATED ON PLANS; INCLUDE HANGER ROD AT LOCATIONS SHOWN ON PLANS
U18 REMOVE EXISTING AND INSTALL NEW CORDLESS 2" FAUX WOOD HORIZONTAL BLINDS THROUGHOUT
U19 REMOVE EXISTING AND INSTALL NEW VANITY MIRRORS, RECESSED MEDICINE CABINETS, (24" MIN.) TOWEL BARS, TOWEL RINGS, SHOWER RODS, AND WALL-MOUNTED TOILET PAPER HOLDERS; SEE INTERIOR ELEVATION DETAILS SHEET(S)
U20 INSTALL NEW C-SHAPED PULL HARDWARE AT ALL KITCHEN CABINET DRAWERS AND DOORS AT UFAS UNIT(S)
U21 INSTALL NEW ENERGY STAR CERTIFIED DISHWASHER IN ALL TYPICAL UNITS; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
U22 REMOVE EXISTING ELECTRIC RANGE AND INSTALL NEW 30" ELECTRIC FREESTANDING RANGE. PROVIDE ANTI-TIP BRACKET AT REAR OF ALL RANGES; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
U23 REMOVE EXISTING AND INSTALL NEW FROST-FREE ENERGY STAR CERTIFIED REFRIGERATOR; INSTALL ACCESSIBLE CONTROL-STYLE AT ALL UFAS UNIT(S)
U24 REMOVE EXISTING AND INSTALL NEW VENTED MICROHOODS AT TYPICAL UNITS; INSTALL VENTED RANGEHOOD AND COUNTERTOP ACCESSIBLE MICROWAVE AT UFAS UNIT(S)

BUILDING EXTERIOR KEYNOTES

- X1 REMOVE EXISTING AND INSTALL NEW 3-PANEL INSULATED FIBERGLASS ENTRY DOORS PER DOOR SCHEDULE; DOOR, DOOR FRAME, PEEP HOLE(S), THRESHOLD(S) (PROVIDE ACCESSIBLE THRESHOLDS AT ALL UFAS UNITS) AND HARDWARE PER SPECS
X2 REMOVE EXISTING AND INSTALL NEW WINDOWS WITH LOW "E" INSULATED GLAZING PER WINDOW SCHEDULE. INCLUDE SCREENS. WINDOWS MUST BE COMPLIANT WITH EMERGENCY EGRESS REGULATIONS AT BEDROOMS, INSTALL PAN FLASHING AT ALL NEW WINDOWS
X3 REMOVE EXISTING AND INSTALL NEW WEATHER BARRIER AND FIBER CEMENT SIDING PER EXTERIOR ELEVATIONS (COLOR SELECTED BY OWNER); REMOVE AND REPLACE ALL WATER/INSECT DAMAGED WALL SHEATHING / FASCIA / SOFFIT / TRIM (CONTRACTOR TO CARRY ALLOWANCE OF 10% FOR REPLACEMENT)
X4 REMOVE EXISTING AND INSTALL NEW FIBER CEMENT PERFORATED SOFFIT AND ALUMINIUM FASCIA AT BUILDINGS (COLOR SELECTED BY OWNER)
X5 INSTALL NEW ALUMINIUM SOLID PANEL SOFFIT MATERIAL AT THE UNDERSIDE OF THE 2ND FLOOR LANDINGS
X6 REMOVE EXISTING AND INSTALL NEW 30 YR. ARCHITECTURAL SHINGLES, 15# FELT PAPER AND NEW RIDGE VENT(S) (COLOR SELECTED BY OWNER); DURING ROOF REPLACEMENT REMOVE ANY DAMAGED ROOF SHEATHING AND INSTALL NEW OSB ROOF SHEATHING (CONTRACTOR TO CARRY ALLOWANCE TO REPLACE 10% OF EXISTING ROOF SHEATHING, ANY ADDITIONAL ROOF SHEATHING REPLACEMENT WILL BE HANDLED VIA CHANGE ORDER)
X7 DURING ROOFING REPLACEMENT REMOVE AND REPLACE ALL VENT CAPS, BOOTS, AND METAL FLASHINGS
X8 REMOVE EXISTING GABLE END VENTS AND INFILL OPENING WITH SHEATHING, INSTALL WEATHER RESISTANT BARRIER OVER SHEATHING AND UNDER FIBER CEMENT SIDING
X9 INSTALL NEW PREFINISHED ALUMINIUM GUTTERS (6" K-STYLE), DOWNSPOUTS, GUTTER GUARD AND CONCRETE SPLASHBLOCKS (COLOR SELECTED BY OWNER)
X10 REMOVE EXISTING AND INSTALL NEW BUILDING AND UNIT SIGNAGE PER SPECS
X11 EXISTING STEEL STAIRS TO REMAIN, SCRAPE EXISTING PAINT, PRIME & PAINT AS NECESSARY ANY RUSTED COMPONENTS TO BE REPLACED, ANY DAMAGED PRECAST CONCRETE TREADS ARE TO BE REPLACED, CANE DETECTION TO BE INSTALLED PER PLANS
X12 POWER WASH ALL BRICK AT EACH BUILDING
X13 PROVIDE REPAIR, CLEANING AND TUCKPOINTING AT EXISTING BRICK VENEER
X14 SEAL/CAULK ALL EXPANSION JOINTS, GAPS AND CRACKS AT BUILDING EXTERIORS

OLM BUILDING KEYNOTES

- OLM1 PROVIDE GENERAL DEMO; DOORS, TRIM, CABINETS, PLUMBING, HVAC, APPLIANCES, ETC. TO INCLUDE ACCESSIBILITY MODIFICATIONS AS INDICATED
OLM2 PROVIDE CONCRETE DEMO AS REQUIRED FOR PLUMBING FIXTURE RELOCATION AS INDICATED ON UNIT PLAN(S)
OLM3 COMPLETE ALL TRADEWORK FOR (2) READY TO USE RESTROOMS PER 2010 ADA REQUIREMENTS
OLM4 INSTALL SOLID 2x8 MIN. WOOD BLOCKING AND GRAB BARS AT TOILET(S) PER INTERIOR ELEVATIONS
OLM5 PROVIDE DRYWALL PATCHING AND REPAIRS AS NEEDED, INSTALL NEW DRYWALL AT NEW WALLS PER PLANS; PROVIDE FINISH PER TEXTURE/FINISH SCHEDULE(S)
OLM6 PROVIDE PRIMER & PAINTING AT ALL INTERIOR WALLS, CEILINGS, DOORS (ALL 6 SIDES) AND TRIM (LOW VOC) ONE COLOR/ONE SHEEN SELECTED BY OWNER
OLM7 REMOVE EXISTING AND INSTALL NEW 3-PANEL INTERIOR DOORS PER DOOR SCHEDULE; PROVIDE ACCESSIBLE THRESHOLD AND ACCESSIBILITY CLEARANCES AS REQUIRED
OLM8 REMOVE EXISTING AND INSTALL NEW LUXURY VINYL PLANK FLOORING PER FINISH SCHEDULE (LOW VOC) PATTERN & COLOR SELECTED BY OWNER
OLM9 REMOVE EXISTING AND INSTALL NEW EXTERIOR DOORS, INCLUDING FRAME AND HARDWARE PER DOOR SCHEDULE
OLM10 INSTALL NEW PERMANENT ACCESSIBLE WORK COUNTER(S) IN LAUNDRY ROOM PER INTERIOR ELEVATION DETAILS
OLM11 REMOVE EXISTING AND INSTALL NEW 5 1/4" PRE-PRIMED PINE BASE TRIM PER FINISH SCHEDULE
OLM12 REMOVE EXISTING AND INSTALL NEW COMPOSITE WOOD STOOLS AND PRIMED PINE WINDOW APRONS (PAINT COLOR SELECTED BY OWNER)
OLM13 VERIFY EQUIVALENT R-VALUE OF EXISTING ATTIC INSULATION. PROVIDE BLOWN-IN CELLULOSE INSULATION TO ACHIEVE AN R-38 RATING IN THE ATTIC
OLM14 REMOVE EXISTING AND INSTALL NEW FLOOR MOUNTED DOORSTOPS PER SPECS
OLM15 REMOVE ALL EXISTING SHELVING AND INSTALL NEW VINYL COATED WIRE SHELVING AS INDICATED ON PLANS; INCLUDE HANGER ROD AT LOCATIONS SHOWN ON PLANS
OLM16 REMOVE EXISTING AND INSTALL NEW CORDLESS 2" FAUX WOOD HORIZONTAL BLINDS THROUGHOUT
OLM17 REMOVE EXISTING AND INSTALL NEW RESTROOM ACCESSORIES PER SPECS
OLM18 COORDINATE THE REMOVAL AND INSTALLATION OF NEW COMMERCIAL WASHERS AND DRYERS WITH COIN-OPERATED AND/OR CONTACTLESS PAYMENT SYSTEM WITH OWNERSHIP VIA THIRD-PARTY VENDOR
OLM19 REMOVE EXISTING BUILDING/ROOM SIGNAGE AND INSTALL NEW SIGNAGE PACKAGE PER SPECS
OLM20 SCRAPE/REMOVE EXISTING "POPCORN" CEILING TEXTURE AND REPLACE WITH NEW "KNOCKDOWN" TEXTURE PER FINISH SCHEDULE

ELECTRICAL KEYNOTES

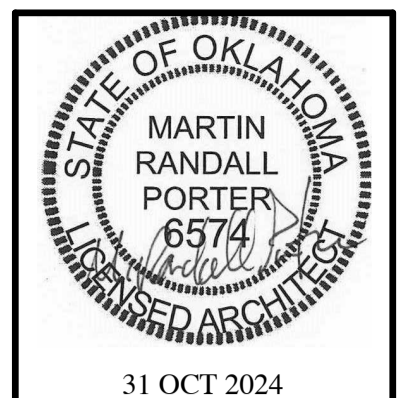
- E1 REMOVE ALL EXISTING AND INSTALL NEW ELECTRICAL OUTLETS, DISCONNECTS, SWITCHES, CABLE/DATA/PHONE JACKS AND COVER PLATES (COLOR AS CHOSEN BY OWNER); AFCI PROTECTION PROVIDED AS REQUIRED AT BREAKERS IN ELECTRIC PANEL OR AT FIRST OUTLET IN CIRCUIT PER NEC; ALL OUTLETS BELOW 5'-6" A.F.F. MUST BE TAMPER RESISTANT (RECEPTACLES AND SWITCHES IN UFAS UNITS SHALL BE MOUNTED IN COMPLIANCE WITH UFAS REQUIREMENTS); MAX. HIGH FORWARD REACH OF 48" A.F.F. & MAX. LOW FORWARD REACH OF 15" A.F.F.
E2 REMOVE ALL EXISTING AND INSTALL NEW LIGHT FIXTURES WITH ENERGY STAR CERTIFIED LED TYPE BULBS
E3 REMOVE ALL EXISTING AND INSTALL NEW HARDWIRED INTERCONNECTED SMOKE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) IN EACH UNIT. INSTALL 3FT AWAY FROM HVAC GRILLS, BATHROOM DOORS AND CEILING FANS; INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)
E4 REMOVE ALL EXISTING AND INSTALL NEW HARDWIRED INTERCONNECTED SMOKE/STROBE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) IN THE AUDIO/VISUAL UNIT, UFAS UNITS AND NEW HARDWIRED INTERCONNECTED SMOKE/STROBE/CARBON MONOXIDE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) AT THE OLM. SEE SITE PLAN FOR LOCATION OF A/V AND UFAS UNIT(S). INSTALL 3FT AWAY FROM HVAC GRILLS, BATHROOM DOORS AND CEILING FANS; INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)
E5 REMOVE EXISTING AND INSTALL NEW TELEPHONE, CABLE TELEVISION & NETWORK WIRING (CAT 6) AT ALL LIVING ROOMS AND BEDROOMS (VERIFY LOCATIONS WITH MANAGEMENT/OWNER BEFORE INSTALLATION). AT THE OFFICE REPLACE EXISTING TELEPHONE & NETWORK WIRING WITH NEW. RUN LINES TO NEW DEMARC BOX ON EXTERIOR WALL AND LABEL PER LOCAL SERVICE PROVIDER
E6 REMOVE EXISTING AND INSTALL NEW FLUSH MOUNT CEILING FAN/LIGHT COMBO WITH UL LISTED SUPPORT BOX AS INDICATED; AT UFAS UNIT(S) PROVIDE CIRCUITS, SWITCHES (WITH SPEED CONTROL OR REMOTE CONTROL)
E7 ELECTRICAL CONTRACTOR TO VERIFY ADEQUATE BREAKER SLOTS ARE AVAILABLE FOR THE NOMINAL INCREASE IN CIRCUITRY FOR NEW DISHWASHERS, GARBAGE DISPOSALS & LIVING ROOM LIGHT FIXTURES. INSTALL TANDOM MINI BREAKERS AS NECESSARY
E8 REINSTALL ELECTRICAL PANELS AT ALL UFAS UNITS SO THE TOP CONTROL IS AT 48" MAX. A.F.F. (54" MAX. A.F.F. WITH COMPLIANT PARALLEL APPROACH); PROVIDE JUNCTION BOXES AS REQUIRED TO EXTEND CONDUCTORS FOR THE RELOCATED ELECTRICAL PANELS
E9 INSTALL NEW CIRCUIT AND RECEPTACLE FOR NEW DISHWASHER & NEW GARBAGE DISPOSAL; INSTALL A NEW 3-WAY SWITCH, CIRCUIT & FIXTURE AT THE LIVING ROOM CEILING AS INDICATED
E10 REMOVE ALL EXISTING AND INSTALL NEW GFCI OUTLETS IN KITCHENS, BATHS, EXTERIORS, ETC. PER THE NEC (PROVIDE WEATHER COVER FOR EXTERIOR OUTLETS). FOR NEW CIRCUITS SEE THE ELECTRICAL MOUNTING HEIGHTS DIAGRAM
E11 REMOVE ALL EXISTING AND INSTALL NEW ENTRY AND EXTERIOR LIGHTS (PROVIDE LED BULBS)
E12 INSPECT AND TEST MAIN SERVICE BREAKERS FOR PROPER OPERATION; REPLACE ALL FAULTY MAIN BREAKERS
E13 PROPERLY WRAP, CONCEAL & TERMINATE ALL EXPOSED EXTERIOR CABLE/WIRING IN LISTED DEMARC ENCLOSURES; ROUTE NEW SERVICE PROVIDER CABLE/WIRING PER NEC REQUIREMENTS
E14 INSTALL NEW REMOTE SWITCHES FOR RANGEHOOD FAN/LIGHT @ 42" MAX. A.F.F. TO CENTER AT WORK STATION IN UFAS UNITS
E15 INSTALL NEW HARDWIRED AUDIO/VISUAL DOOR BELL/CHIMES IN (1) AUDIO/VISUAL UNIT INDICATED ON ASI.0; (INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)
E16 SEE SITE WORK KEYNOTE(S) FOR SCOPE OF REPLACEMENT & NEW LIGHT POLE KITS

HVAC KEYNOTES

- M1 REMOVE EXISTING AND INSTALL NEW ELECTRIC UPFLOW AHU'S WITH INTEGRAL DISCONNECTS, 8.8 HSPF/15 SEER/14.3 SEER 2 AIR SOURCE HEAT PUMP, INCLUDING NEW LINE SETS AT THE UNIT MECHANICAL CLOSETS. ROUTE NEW CONDENSATE LINES TO EXISTING DISCHARGE LOCATION OR FLOOR DRAINS AS ALLOWED BY AHJ
M2 REMOVE EXISTING GAS FURNACE, FLUE PIPING/COMMON VENT/COMBUSTION AIR DUCTWORK AND INSTALL NEW 90% H.E. GAS FURNACE AT THE OLM, DISCONNECTS, SCHEDULE 40 PVC FLUE & COMBUSTION AIR PIPING WITH CONCENTRIC VENT TERMINATION KIT THRU THE ROOF. REMOVE EXISTING CONDENSING UNIT AND INSTALL NEW HEAT PUMP (15 SEER/14.3 SEER 2) NEW LINE SETS; ROUTE NEW CONDENSATE LINES TO EXISTING DISCHARGE LOCATION OR FLOOR DRAINS AS ALLOWED BY AHJ. INFILL THE EXISTING CEILING AND ROOF PENETRATIONS TO MATCH THE EXISTING ASSEMBLY
M3 PROVIDE NEW CONDENSING UNIT PADS (PRE-CAST CONCRETE)
M4 REUSE EXISTING PLATFORM FOR AHU'S. REPAIR SHEETROCK AND PLATFORM AS NECESSARY AND MATCH UNIT WALL FINISHES
M5 REMOVE EXISTING AND INSTALL NEW DIGITAL NON-PROGRAMMABLE THERMOSTATS (THERMOSTATS IN COMMON AREAS AND UFAS UNITS SHALL BE INSTALLED AT 44" MAX. A.F.F.)
M6 REMOVE EXISTING AND INSTALL NEW REGISTERS/RETURN GRILLS/DIFFUSERS
M7 WRAP ALL REFRIGERANT LINES WITH COVER KITS OR PREFINISHED ALUMINIUM (COLOR TO MATCH GUTTERS AND SOFFIT)
M8 REMOVE EXISTING AND INSTALL NEW BATH EXHAUST FAN AFTER CLEANING EXISTING EXHAUST DUCTS (WIRE W/ BATH LIGHT ON SMART EXHAUST TIMER SWITCH)
M9 REPLACE ALL EXTERIOR RANGEHOOD AND BATH EXHAUST VENT COVERS AND ANY HVAC INTAKE LOUVERS
M10 PROPERLY SEAL ALL PENETRATIONS AT MECHANICAL CLOSETS WITH APPROVED MATERIALS AS REQUIRED BY CODE
M11 WHERE EXISTING IN RATED FLOOR/CEILING/ROOF CEILING ASSEMBLIES AND INSTALL NEW CEILING RADIATION FIRE DAMPERS AS REQUIRED BY CODE
M12 PROVIDE INTERIOR DUCT CLEANING OF ALL EXISTING DUCT WORK
M13 CLEAN THE EXISTING DRYER DUCTS AT THE LAUNDRY & REPLACE THE EXTERIOR VENT CAPS

PLUMBING KEYNOTES

- P1 SCOPE EXISTING SEWER LINES FROM EACH UNIT/BUILDING TO MAIN, JET AS REQUIRED TO CLEAR ANY OBSTRUCTION; PROVIDE RESULTS REPORT TO OWNER/ARCHITECT
P2 INSTALL NEW WATER SHUTOFF VALVE IN NEW IN-GROUND VALVE-BOX BOX AT WATER SERVICE ENTRY TO EACH UNIT/BUILDING; WHERE NEW FIXTURES ARE INSTALLED, REMOVE EXISTING AND INSTALL NEW VALVE STOPS, ESCUTCHEON PLATES, SUPPLY LINE CONNECTORS AND WASTE FITTINGS
P3 PROVIDE CONCRETE DEMO AS REQUIRED FOR PLUMBING FIXTURE RELOCATION AS INDICATED ON UFAS 1-BR, UFAS 2-BR, UFAS 3-BR AND OLM PLAN(S)
P4 REMOVE EXISTING AND INSTALL NEW ACCESSIBLE (MULTI-PIECE FIBERGLASS) TUB/SHOWER UNITS AT ALL UFAS UNITS WITH FACTORY INSTALLED GRAB BAR BACKING, FACTORY GRAB BARS, AND REMOVABLE SEAT
P5 REMOVE EXISTING AND INSTALL NEW STANDARD (MULTI-PIECE FIBERGLASS) TUB/SHOWERS AT ALL TYPICAL UNITS
P6 REMOVE EXISTING AND INSTALL NEW KITCHEN, BATHROOM AND RESTROOM SINKS, SHUT-OFFS, ETC. (ALL SINK FAUCETS ARE TO BE WATER SENSE LABELED) PER PLANS; INSTALL PIPE WRAP KITS AT ALL ACCESSIBLE SINKS, UFAS KITCHEN SINKS ARE TO BE REAR DRAIN MODEL
P7 INSTALL NEW GARBAGE DISPOSAL & DRAIN KIT AT ALL UNITS
P8 REMOVE EXISTING AND INSTALL NEW FIRE-RATED WASHER VALVE BOXES WITH ANTI-HAMMER DEVICE(S) AT THE LAUNDRY ROOM
P9 INSTALL NEW WATER SUPPLY AND DRAIN PIPING FOR NEW DISHWASHER PER PLANS
P10 REMOVE EXISTING AND INSTALL NEW WATER SENSE LABELED (1.28 GPF) TOILETS W/ ELONGATED BOWL (COMFORT HEIGHT @ ALL UNITS) PER PLANS
P11 REMOVE EXISTING AND INSTALL NEW ELECTRIC 30 GALLON WATER HEATER(S) (LOW BOY AT UNITS VERIFY CLEARANCE ROOMS) & ASSOCIATED PIPING, ELECTRICAL DISCONNECT(S), DRAIN PAN(S) AND DRAIN PIPING; ROUTE DRAIN PAN PIPING TO EXISTING DISCHARGE LOCATION
P12 REMOVE EXISTING & INSTALL NEW 50 GALLON GAS WATER HEATER AT THE OLM. NEW TFR DISCHARGE PIPE SHALL TERMINATE AT EXISTING DISCHARGE LOCATION. TFR PIPING SHALL BE COPPER OR CPVC. WATER HEATER(S) TO BE MIN. 0.62 UEF; INCLUDE NEW WATER SHUT-OFF VALVE REPLACEMENT; DEMO EXISTING METAL FLUE VENT PIPING AND INSTALL NEW PER MANUFACTURERS WRITTEN INSTRUCTIONS
P13 REMOVE EXISTING AND INSTALL NEW PRESSURE BALANCING OR THERMOSTATIC MIXING TUB/SHOWER CONTROLS, WATER SENSE SHOWERHEAD, DIVERTER AND DRAIN AT ALL UNITS; PROVIDE ACCESSIBLE CONTROLS AT UFAS UNITS INCLUDING HANDHELD SHOWERHEAD, 24" SLIDE BAR AND 60" FLEX HOSE
P14 EXISTING FLOOR DRAIN(S) TO REMAIN, FLUSH AND INSTALL NEW GRATES
P15 REMOVE EXISTING HOSE BIBBS AND INSTALL NEW KEYED FROST PROOF ANTI-SIPHON HOSE BIBBS



31 OCT 2024

MARTIN RANDALL PORTER ARCHITECT LICENSE #66574

RIVER BEND VILLAS CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace ARCHITECTS LLC Columbia, MO P. 573-2567-7200

OKLAHOMA STATE CERTIFICATE OF AUTHORITY: ca01173

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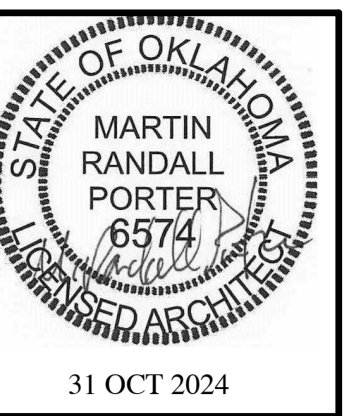
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ISSUE SET



MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
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NOTES:
CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS.

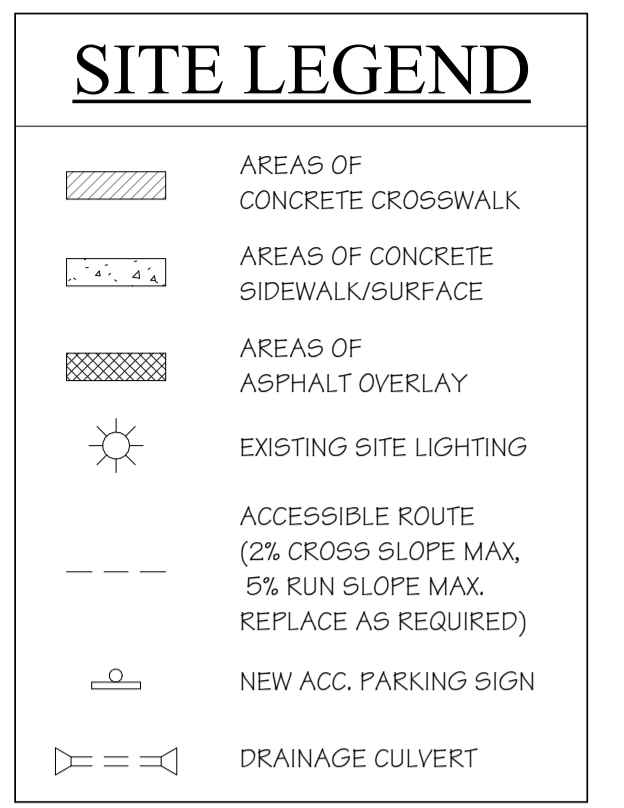
MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT

- ### POLLUTION/EROSION CONTROL NOTES
- DUST ON SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - ACTIVE UNDERGROUND PIPES, CONDUITS, OR OTHER UTILITIES OF ANY TYPE, WHETHER INDICATED ON THE DOCUMENTS OR NOT, MUST BE PROTECTED BY THE CONTRACTOR DURING THE COURSE OF THE WORK AND REMAIN ACTIVE, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AND SHALL CONFORM TO THE FEDERAL, STATE AND LOCAL REQUIREMENTS AND MANUALS OF PRACTICE. AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER VIA CHANGE ORDER.
 - CONFLICTING AND / OR UNFORESEEN FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR - WHO SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO PROCEEDING.
 - INSTALL SILT SOCK OR GUTTER BUDDY AROUND ALL INLETS.
 - ALL DISTURBED AREAS SHALL BE FINE GRADE SEEDED AND MULCHED FOLLOWING CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE VEHICLES ARE ADEQUATELY CLEANED PRIOR TO EXITING THE LIMITS OF THE DISTURBANCE TO PREVENT TRACK OUT. IF THE EXISTING PAVEMENT DOES NOT SATISFACTORILY PREVENT TRACK OUT FROM TRAFFIC EXITING THE SITE, THE TIRES SHOULD BE WASHED PRIOR TO EXIT INTO PUBLIC ROADWAYS. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. TRACK OUT IS ULTIMATELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRAFFIC FROM THE SITE WILL NOT CAUSE TRACK OUT FROM THE PROJECT SITE.

NOTE: APARTMENT NUMBERS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCY PRIOR TO FINAL PRODUCTION / INSTALLATION.

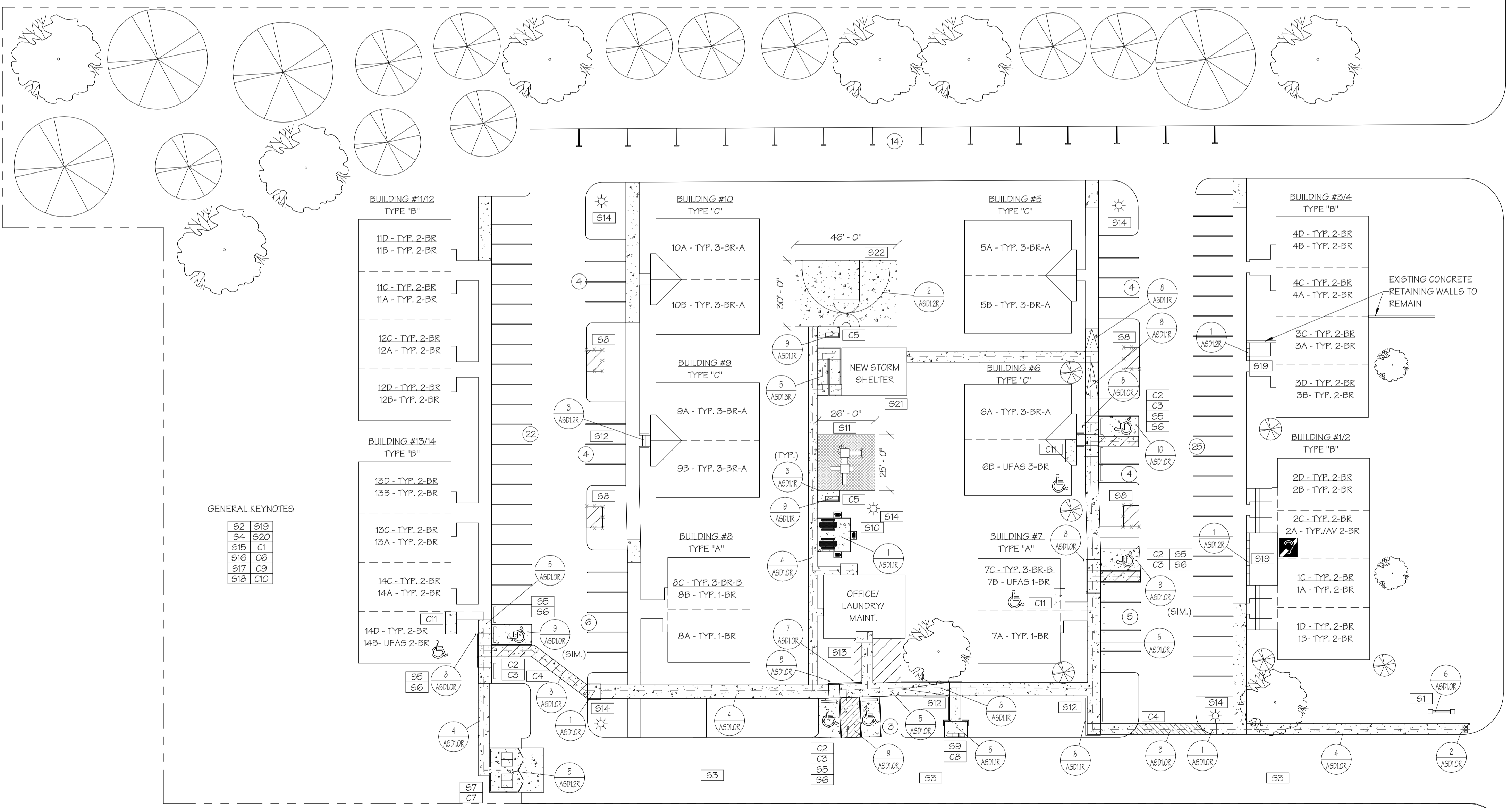
- ### SITE UTILITY NOTES
- ALL EXISTING SITE UTILITIES ARE PRESUMED TO BE FUNCTIONING PROPERLY AND ARE FREE OF LEAKS, BLOCKAGES, DEBRIS, ETC.
 - ALL EXISTING UNITS AND/OR BUILDINGS ARE PRESUMED TO HAVE PROPERLY SEALED, CONNECTED, AND WORKING VALVES, SHUT-OFFS, MANIFOLDS, ETC.
 - THE EXISTING WATER PRESSURE IS PRESUMED TO BE AT AN ACCEPTABLE LEVEL AND/OR PRESSURE REDUCING VALVES (PRVs) HAVE BEEN PREVIOUSLY INSTALLED WHERE NECESSARY. THESE ITEMS WILL BE INSPECTED DURING THE COURSE OF THE REHAB AND ANY NECESSARY REPAIRS, REPLACEMENTS, AND/OR ADDITIONS WILL BE COMPLETED AND REFLECTED ON A CHANGE ORDER.
 - BACKFLOW PREVENTION DEVICES AND/OR PRESSURE REDUCING VALVES ARE PRESUMED TO BE EXISTING, FUNCTIONING PROPERLY, AND ARE NOT INCLUDED IN THIS SCOPE OF WORK.
 - SANITARY SEWER MAINS AND LATERALS ARE PRESUMED TO BE FREE OF OBSTRUCTIONS AND CURRENTLY FUNCTIONING PROPERLY. ANY DISCOVERED ISSUES SHALL BE INSPECTED AND REQUIRED MEASURES WILL BE PERFORMED TO RESTORE PROPER DRAINAGE AND WILL BE REFLECTED ON A CHANGE ORDER.

- ### ACCESSIBILITY NOTES
- AN ACCESSIBLE SIDEWALK SHALL NOT EXCEED 5% (1'-0" IN 20'-0") SLOPE WITH A 2% (1'-0" IN 50'-0") CROSS-SLOPE AND SHALL BE 4' WIDE EXCEPT AS OTHERWISE NOTED ON SITE PLAN. PROVIDE STAIRS, RAMPS, CURBS, ETC., AS NOTED AND DETAILED.
 - ANY EXISTING NON-COMPLIANT SIDEWALK FOUND DURING COURSE OF CONSTRUCTION THAT REQUIRES REPLACEMENT IN ADDITION TO SIDEWALK REPLACEMENT SHOWN ON THE SITE PLAN WILL BE HANDLED VIA CHANGE ORDER.
 - ACCESSIBLE PARKING AREAS INCLUDING ACCESSIBLE SPACES SHALL NOT EXCEED A 2% (1'-0" IN 50'-0") CROSS-SLOPE. OTHER PORTIONS OF THE ACCESSIBLE ROUTE SHALL NOT EXCEED A 5% (1'-0" IN 20'-0") LONGITUDINAL SLOPE NOR A 2% (1'-0" IN 50'-0") CROSS-SLOPE.
 - RAMPS MAY NOT RISE MORE THAN 30". A FLAT LANDING (2% SLOPE IN ALL DIRECTIONS) IS REQUIRED AT THE TOP & BOTTOM OF EACH RAMP.
 - INSTALL HANDRAILS ALONG ACCESSIBLE ROUTES EXCEEDING 5% RUNNING SLOPE. MAX RAMP SLOPE IS 8.33%.



- ### SITework KEYNOTES
- REMOVE EXISTING AND INSTALL NEW BRICK MONUMENT SIGN AT EXISTING MONUMENT SIGN LOCATION AS INDICATED ON THE SITE PLAN
 - AT AREAS OF EXISTING ASPHALT OVERLAY MILL EXISTING ASPHALT PARKING LOT AND ASSOCIATED DRIVES. PROVIDE BASE COURSE REPAIR AS INDICATED ON ARCHITECTURAL SITE PLAN. PROVIDE 2" ASPHALT OVERLAY AFTER BASE COURSE REPAIRS
 - PROVIDE CONCRETE REPAIRS ALONG WEST DRIVE, WHERE THERE ARE AREAS OF BROKEN-UP CONCRETE. REMOVE, ESTABLISH BASE, PIN REINFORCEMENT, PROVIDE ISOLATION JOINTS AND POUR BACK NEW CONCRETE (3,000 PSI MIN.); AT LOCATIONS OF ISOLATED SHORT AND LONG RUN CRACKING, SAW KEF CRACKS, INSTALL BACKER ROD AND TRAFFIC GRADE SELF-LEVELING POLYURETHANE CAULK
 - STRIPE PARKING LOT AFTER ASPHALT OVERLAY (VERIFY COLOR WITH AHJ)
 - REMOVE EXISTING AND INSTALL NEW ACCESSIBLE RESERVED PARKING SIGNAGE (COORDINATE PENALTY AMOUNT WITH AHJ)
 - INSTALL NEW PARKING WHEEL STOPS AT LOCATIONS INDICATED ON SITE PLAN
 - INSTALL NEW ACCESSIBLE REAR APPROACH MASONRY DUMPSTER ENCLOSURE AT THE LOCATION INDICATED ON THE SITE PLAN
 - REMOVE EXISTING TRASH ENCLOSURES AND CONCRETE PADS AS INDICATED ON THE SITE PLAN
 - REMOVE EXISTING AND INSTALL NEW PEDESTAL MOUNTED MAILBOXES ON NEW ACCESSIBLE CONCRETE PAD AT LOCATION INDICATED ON THE SITE PLAN
 - REMOVE EXISTING AND INSTALL NEW ACCESSIBLE PICNIC AREA ON ACCESSIBLE CONCRETE PAD WITH (2) PICNIC TABLE(S) AND (3) BBQ GRILL(S) (PROPERLY ANCHORED TO NEW CONCRETE SLAB)
 - REMOVE EXISTING AND INSTALL NEW PLAYGROUND EQUIPMENT AND ACCESSIBLE OBSERVATION BENCH (ON A NEW ACCESSIBLE CONCRETE PAD) AS INDICATED ON THE SITE PLAN (INCLUDING ACCESSIBLE BORDERS & SOFT FALL SURFACE MATERIAL)
 - REMOVE EXISTING RAMP RAILINGS AND INSTALL NEW STEEL HANDRAILS & GUARDRAILS AT LOCATIONS INDICATED ON THE SITE PLAN PRIME & PAINT (COLOR BY OWNER); INSTALL NEW STEEL STAIR HANDRAILS & RAMP GUARDRAILS AT LOCATIONS INDICATED ON THE SITE PLAN, PRIME & PAINT (COLOR BY OWNER); SEE ARCHITECTURAL SITE DETAILS
 - DEMO THE EXISTING ACCESSIBLE CONCRETE PARKING SPACE AND THE SIDEWALK IN FRONT OF THE OLM BUILDING AND INSTALL NEW ACCESSIBLE SIDEWALK AS INDICATED ON THE SITE PLAN
 - VERIFY OWNERSHIP OF EXISTING SITE LIGHTING. IF PROPERTY OWNED, REPLACE ALL EXISTING FIXTURES WITH NEW 10' FIBERGLASS POLES WITH LED FIXTURES
 - PROVIDE TERMITE INSPECTION AND TREATMENT AS NEEDED
 - PROVIDE LANDSCAPING PER ALLOWANCE
 - PROVIDE OVERALL FINISH GRADING, RESEED & MULCH DISTURBED AREAS, PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND SIDEWALKS - 5% SLOPE MINIMUM FOR FIRST 10'-0"
 - PROVIDE TREE TRIMMING/REMOVAL WITHIN 10'-0" OF BUILDINGS
 - REMOVE EXISTING WOOD RETAINING WALL AND INSTALL NEW SEGMENTAL BLOCK RETAINING WALL AT LOCATIONS INDICATED ON PLANS (MODEL SELECTED BY OWNER)
 - PROVIDE NEW PROPERTY WAYFINDING SIGNAGE AS DIRECTED
 - PROVIDE ALL TRADEWORK NECESSARY TO CONSTRUCT NEW STORM SHELTER BUILDING PER PLANS, INCLUDING BUT NOT LIMITED TO REINFORCED FOUNDATION, FRAMING, MEP, SLAB, WALLS & LID, DOORS, ROOFING, FINISHES ETC.
 - INSTALL NEW SPORT COURT (46' x 30') ON NEW CONCRETE PAD ALONG THE ACCESSIBLE PATH PER PLANS. INSTALL NEW 12'-0" VINYL-COATED, STEEL CHAIN LINK FENCE AROUND THE PERIMETER (ALL COLORS ARE TO BE SELECTED BY OWNER) AND AN ACCESSIBLE OBSERVATION BENCH ON NEW ACCESSIBLE PAD (2% MAX. SLOPE IN ALL DIRECTIONS); ALL COLORS RENOVATION WIDE TO BE SELECTED BY OWNER

- ### CONCRETE KEYNOTES
- (SEE SITE WORK FOR ADDITIONAL SCOPE)
- REMOVE EXISTING DAMAGED OR NON-COMPLIANT SIDEWALKS/CURBSWALKS THROUGHOUT, INSTALL NEW ACCESSIBLE SIDEWALKS/CURBSWALKS AS INDICATED ON THE SITE PLAN
 - CONSTRUCT NEW ACCESSIBLE WHEELCHAIR CURB RAMP(S) AT LOCATION(S) INDICATED ON THE SITE PLAN
 - INSTALL NEW CONCRETE SLABS AT ACCESSIBLE PARKING SPACES, NOT TO EXCEED 2% MAX. SLOPE IN ALL DIRECTIONS AS INDICATED ON SITE PLAN
 - INSTALL NEW ACCESSIBLE CONCRETE CROSSWALK(S), NOT TO EXCEED 2% MAX SLOPE IN ALL DIRECTIONS WITH STRIPING AS INDICATED ON THE SITE PLAN
 - INSTALL NEW ACCESSIBLE CONCRETE PADS, NOT TO EXCEED 2% MAX SLOPE IN ALL DIRECTIONS FOR OBSERVATION BENCH(ES) AS INDICATED ON THE SITE PLAN
 - REMOVE EXISTING AND INSTALL NEW (PRE-CAST) CONCRETE CONDENSING UNIT PADS
 - INSTALL NEW ACCESSIBLE CONCRETE DUMPSTER ENCLOSURE PAD AND REINFORCED 6" THICK HEAVY-DUTY CONCRETE APRON EXTENSION (10'-0" MIN.) FROM FRONT OF ENCLOSURE AT LOCATION INDICATED ON THE SITE PLAN; SEE ARCHITECTURAL SITE DETAILS
 - REMOVE EXISTING AND INSTALL NEW ACCESSIBLE CONCRETE MAILBOX PAD AT LOCATION INDICATED ON SITE PLAN
 - REMOVE EXISTING AND INSTALL NEW ACCESSIBLE CONCRETE SIDEWALKS TO ALL SITE AMENITIES AS INDICATED ON THE SITE PLAN
 - INSTALL NEW ACCESSIBLE CONCRETE SIDEWALK/CURB/CURB TO PUBLIC ROW. INSTALL NEW DETECTABLE WARNING MAT WITHIN 5'-0" OF PUBLIC ROW AS INDICATED ON SITE PLAN
 - PROVIDE 5'-0" X 5'-0" CONCRETE LANDING AT ALL UFAS ENTRIES WITH 2% MAX SLOPE IN ALL DIRECTIONS

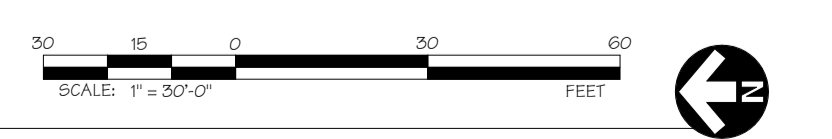


GENERAL KEYNOTES

S2	S19
S4	S20
S15	C1
S16	C6
S17	C9
S18	C10

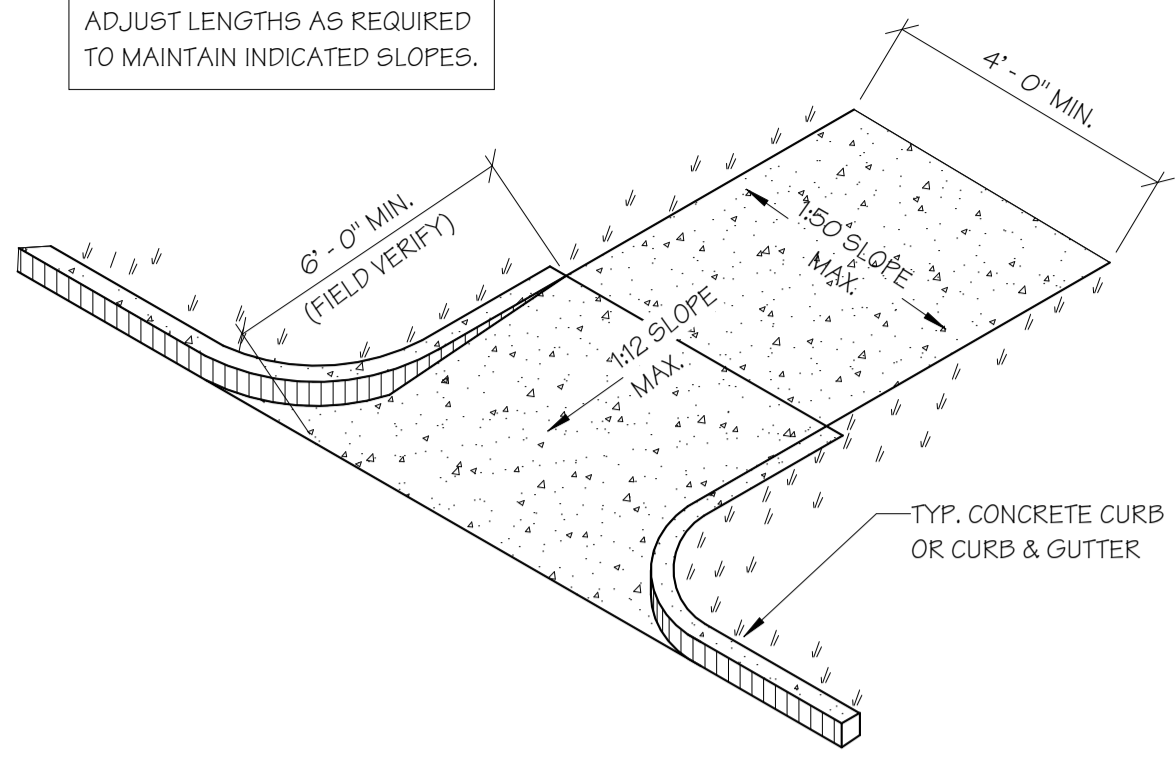


ARCHITECTURAL SITE PLAN



ISSUE SET

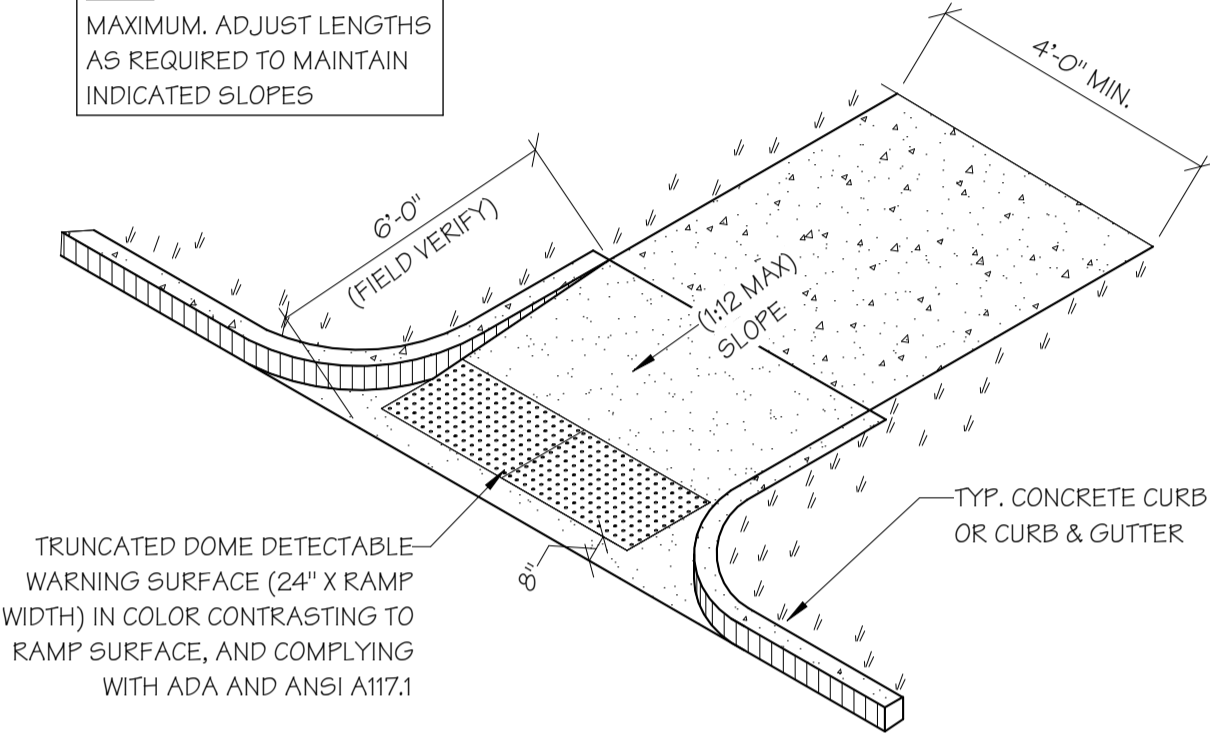
NOTE:
 SLOPES SHOWN ARE MAXIMUM.
 ADJUST LENGTHS AS REQUIRED
 TO MAINTAIN INDICATED SLOPES.



SINGLE CURB ACCESS RAMP

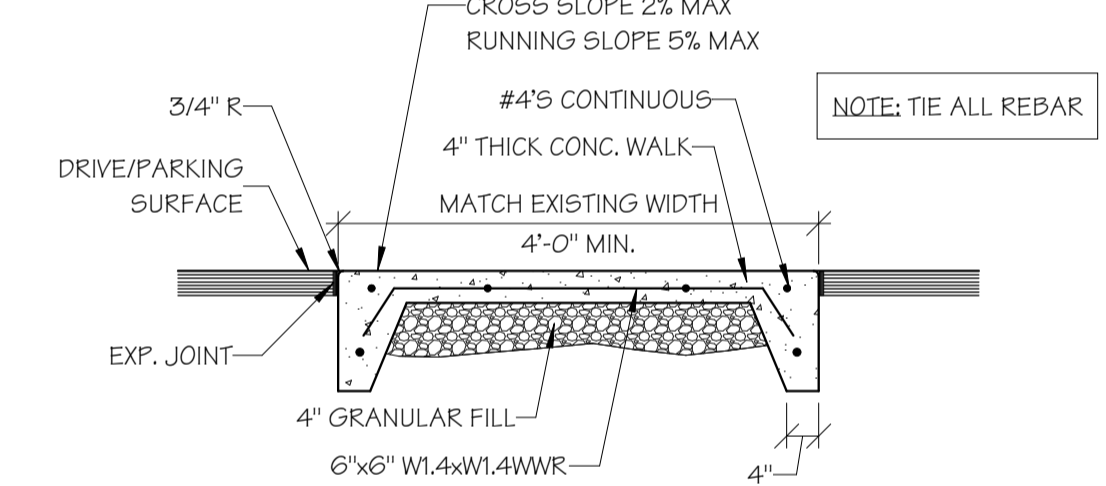
1
 ASD1.0R
 SCALE: 1/4" = 1'-0"

NOTE: SLOPES SHOWN ARE
 MAXIMUM. ADJUST LENGTHS
 AS REQUIRED TO MAINTAIN
 INDICATED SLOPES.



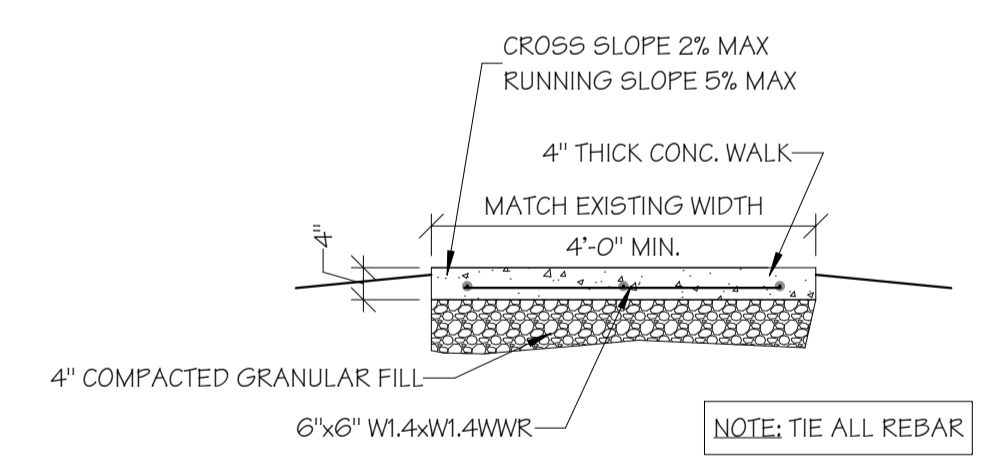
**SINGLE CURB ACCESS RAMP
 (W/ WARNING MAT)**

2
 ASD1.0R
 SCALE: 1/4" = 1'-0"



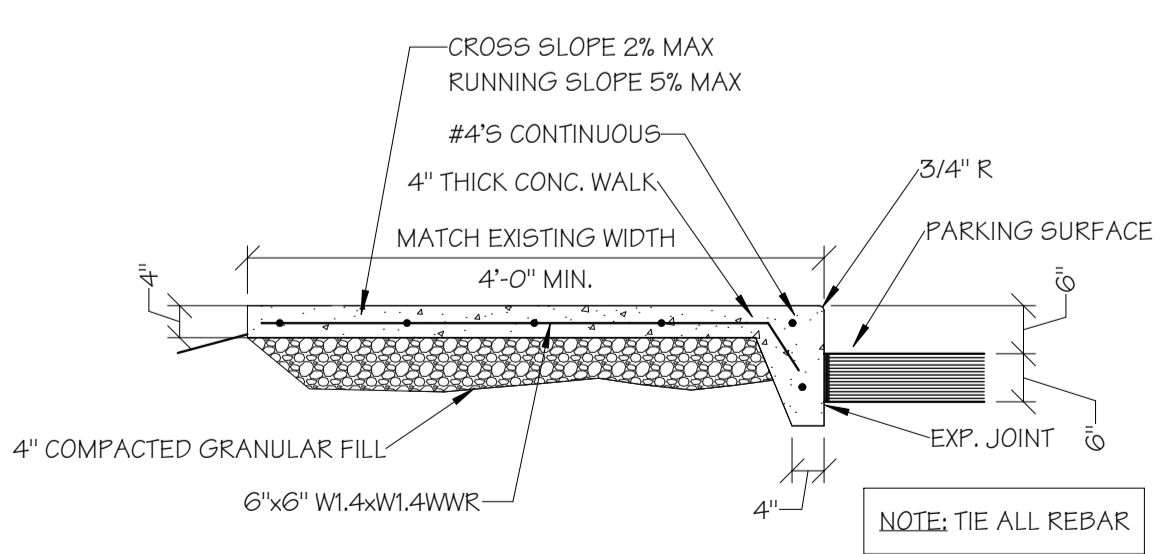
TYPICAL CROSSWALK DETAIL

3
 ASD1.0R
 SCALE: 1/2" = 1'-0"



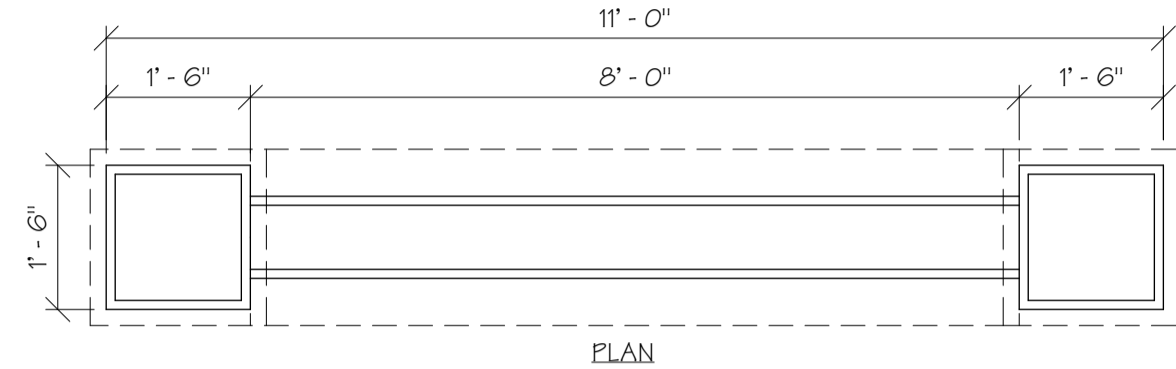
**ACCESSIBLE CONCRETE
 SIDEWALK**

4
 ASD1.0R
 SCALE: 1/2" = 1'-0"

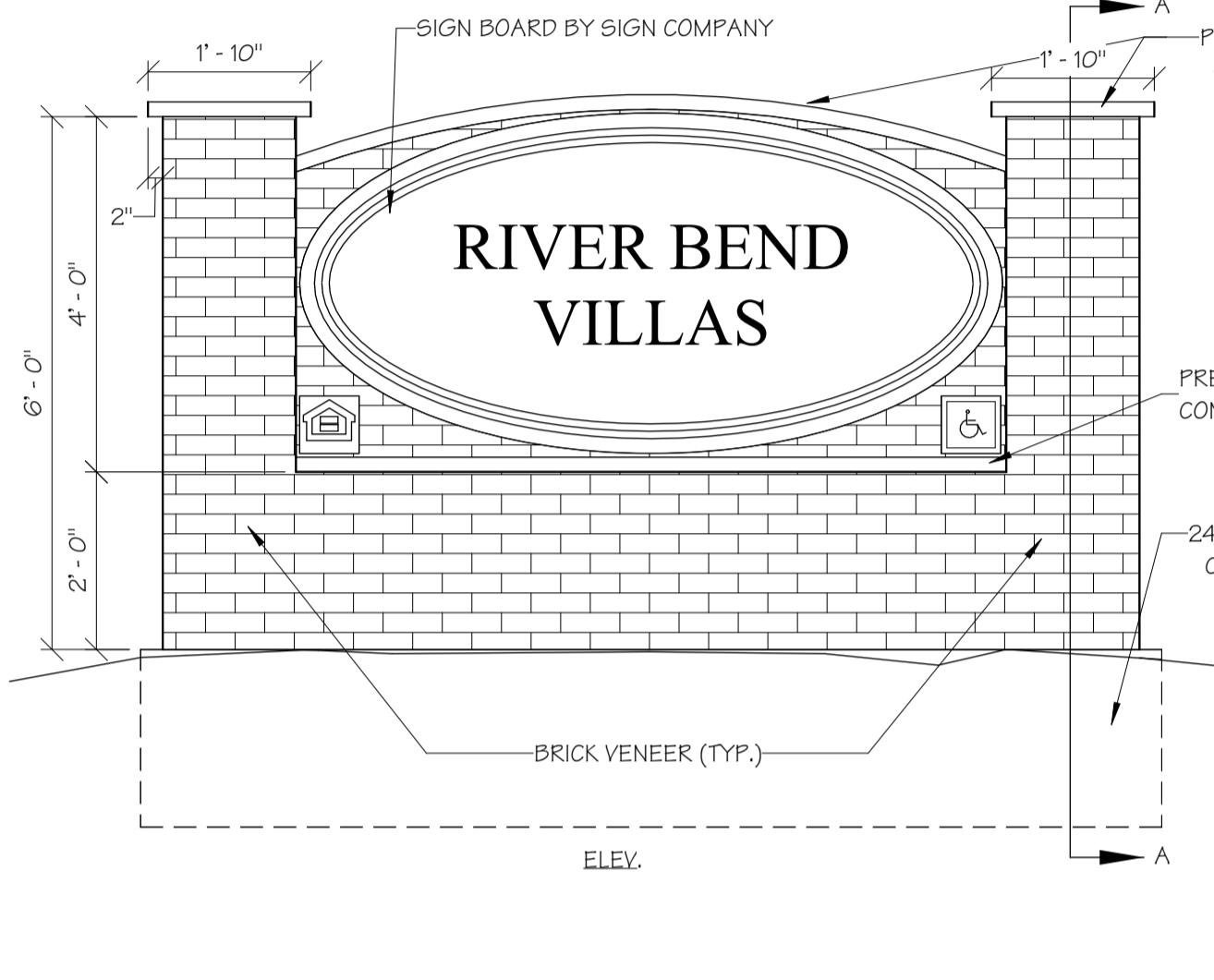


**ACCESSIBLE CONCRETE
 CURB WALK**

5
 ASD1.0R
 SCALE: 1/2" = 1'-0"



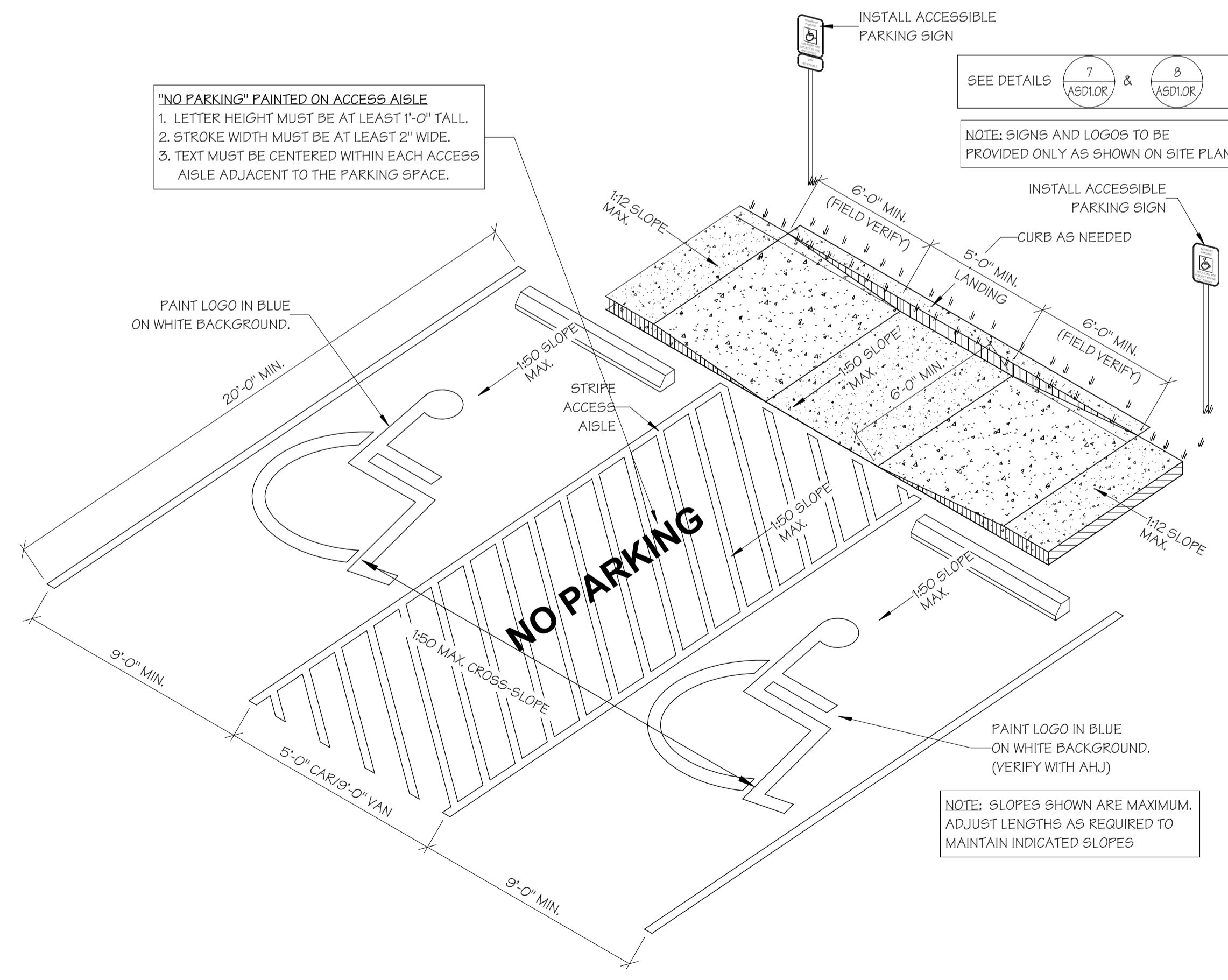
NOTE: SIGN TO BE DOUBLE SIDED WITH
 SAME INFORMATION ON EACH SIDE.



PROJECT MONUMENT SIGN

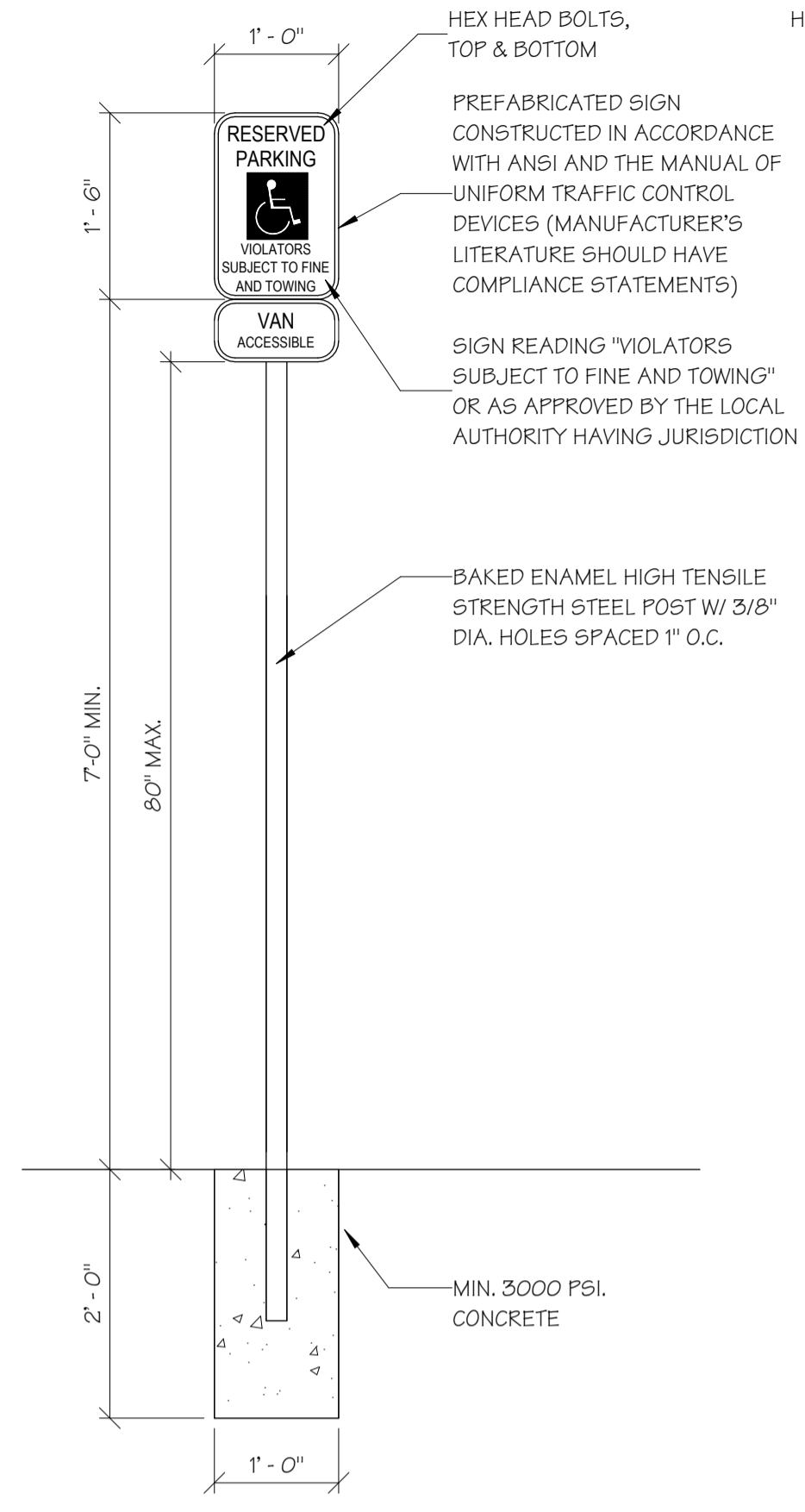
6
 ASD1.0R
 SCALE: 1/2" = 1'-0"

"NO PARKING" PAINTED ON ACCESS AISLE
 1. LETTER HEIGHT MUST BE AT LEAST 1'-0" TALL.
 2. STROKE WIDTH MUST BE AT LEAST 2" WIDE.
 3. TEXT MUST BE CENTERED WITHIN EACH ACCESS
 AISLE ADJACENT TO THE PARKING SPACE.



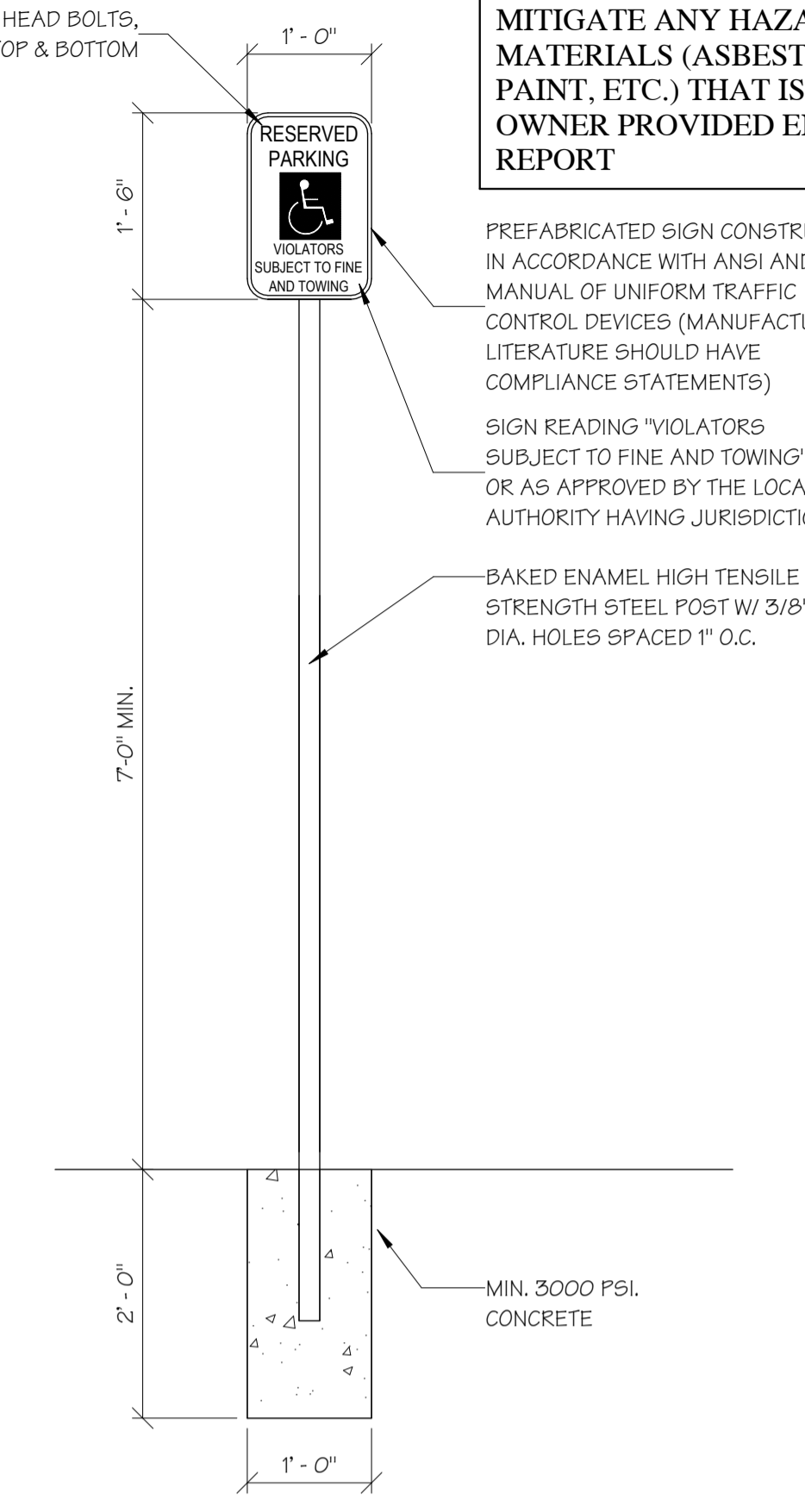
ACCESSIBLE PARKING AREA DETAIL

9
 ASD1.0R
 SCALE: 1/4" = 1'-0"



**VAN ACCESSIBLE
 PARKING SIGN**

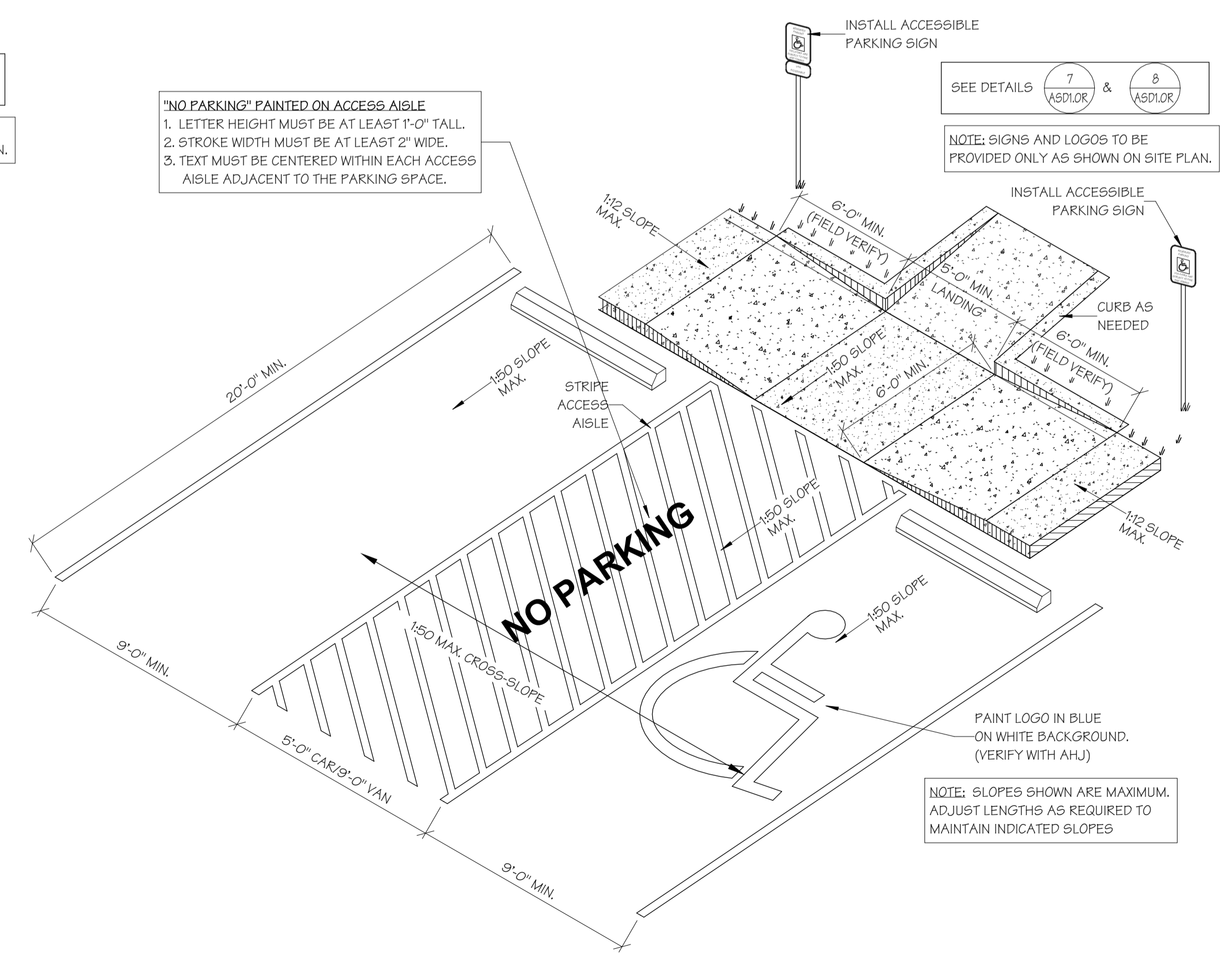
7
 ASD1.0R
 SCALE: 3/4" = 1'-0"



**ACCESSIBLE
 PARKING SIGN**

8
 ASD1.0R
 SCALE: 3/4" = 1'-0"

"NO PARKING" PAINTED ON ACCESS AISLE
 1. LETTER HEIGHT MUST BE AT LEAST 1'-0" TALL.
 2. STROKE WIDTH MUST BE AT LEAST 2" WIDE.
 3. TEXT MUST BE CENTERED WITHIN EACH ACCESS
 AISLE ADJACENT TO THE PARKING SPACE.



ACCESSIBLE PARKING AREA DETAIL WITH TRIPLE CURB

10
 ASD1.0R
 SCALE: 1/4" = 1'-0"

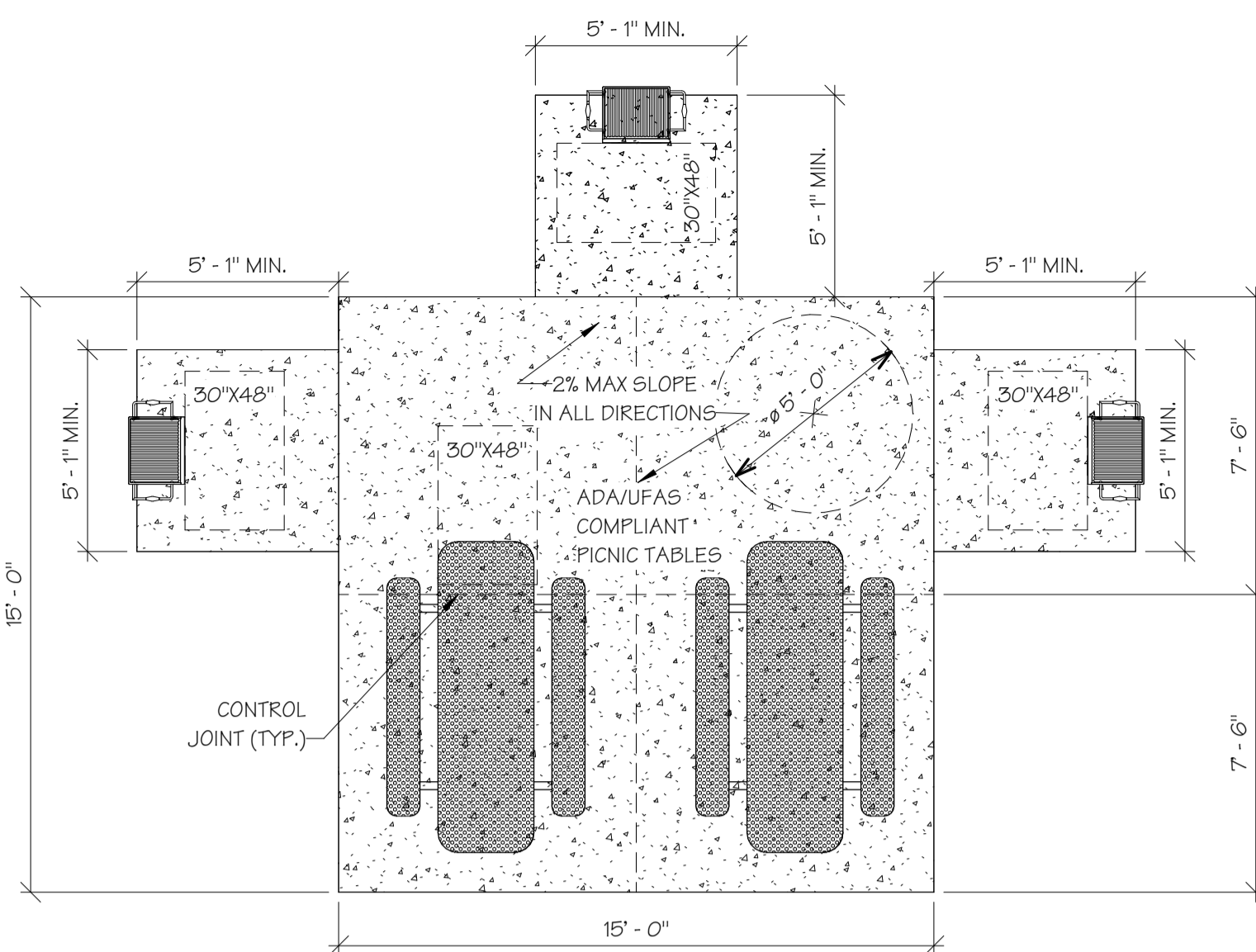
NOTES:
 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS.
 MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT

NOTE:
 POST WARNING SIGN ADVISING ALL RESIDENTS THAT CHILDREN PLAYING AT THE PLAYGROUND WILL BE DOING SO AT THEIR OWN RISK. SIGN SHALL USE CONTRASTING COLORS FOR BETTER IDENTIFICATION.

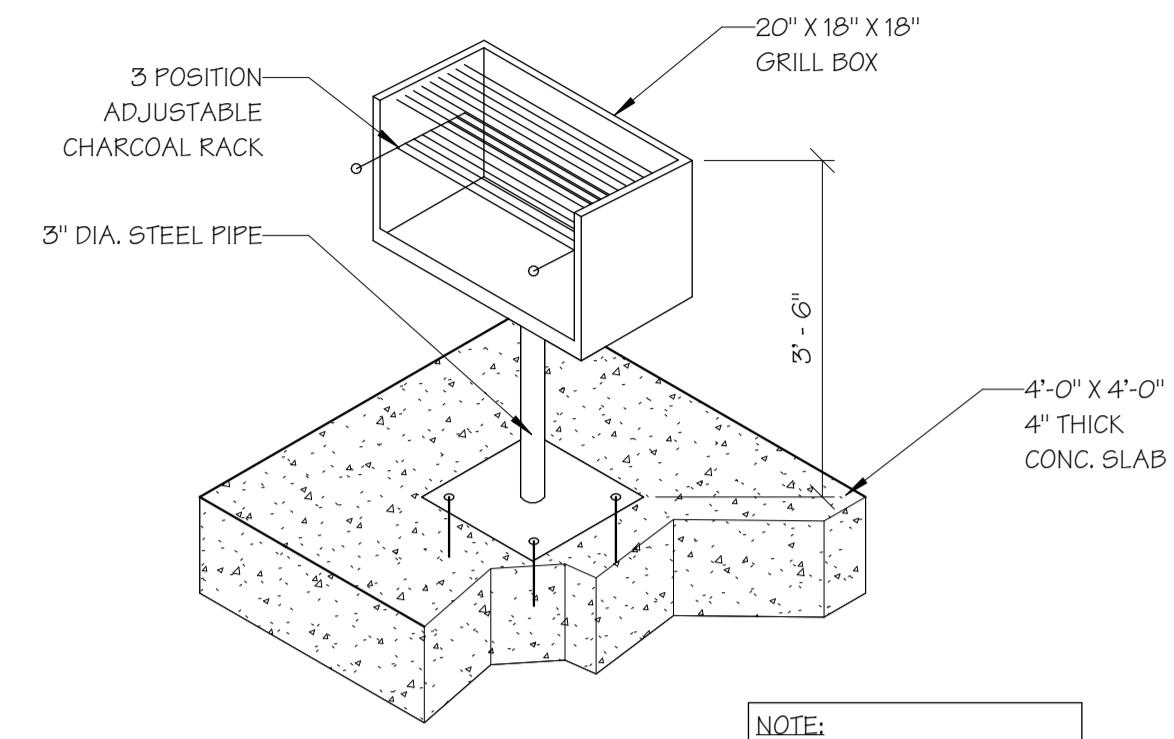
NOTES:
 ALL PEDESTAL BOX UNITS MUST BE TYPE APPROVED BY THE U.S. POSTAL SERVICE.
 EACH UNIT SHALL HAVE AT LEAST ONE PARCEL LOCKER EQUIPPED WITH USPS APPROVED 306P LOCK AND OUTGOING MAIL SLOT.
 CONCRETE PAD FOR PEDESTAL BOX UNIT TO BE FURNISHED AND INSTALLED BY CONTRACTOR (SIZED AS REQ'D).
 OWNER / MANAGEMENT TO COORDINATE UFAS UNIT MAILBOX WITH LOCAL POST MASTER TO MAINTAIN ACCESSIBILITY REQUIREMENTS.

NOTE:
 SEE SPECIFICATION MANUAL FOR OBSERVATION BENCH INFORMATION.

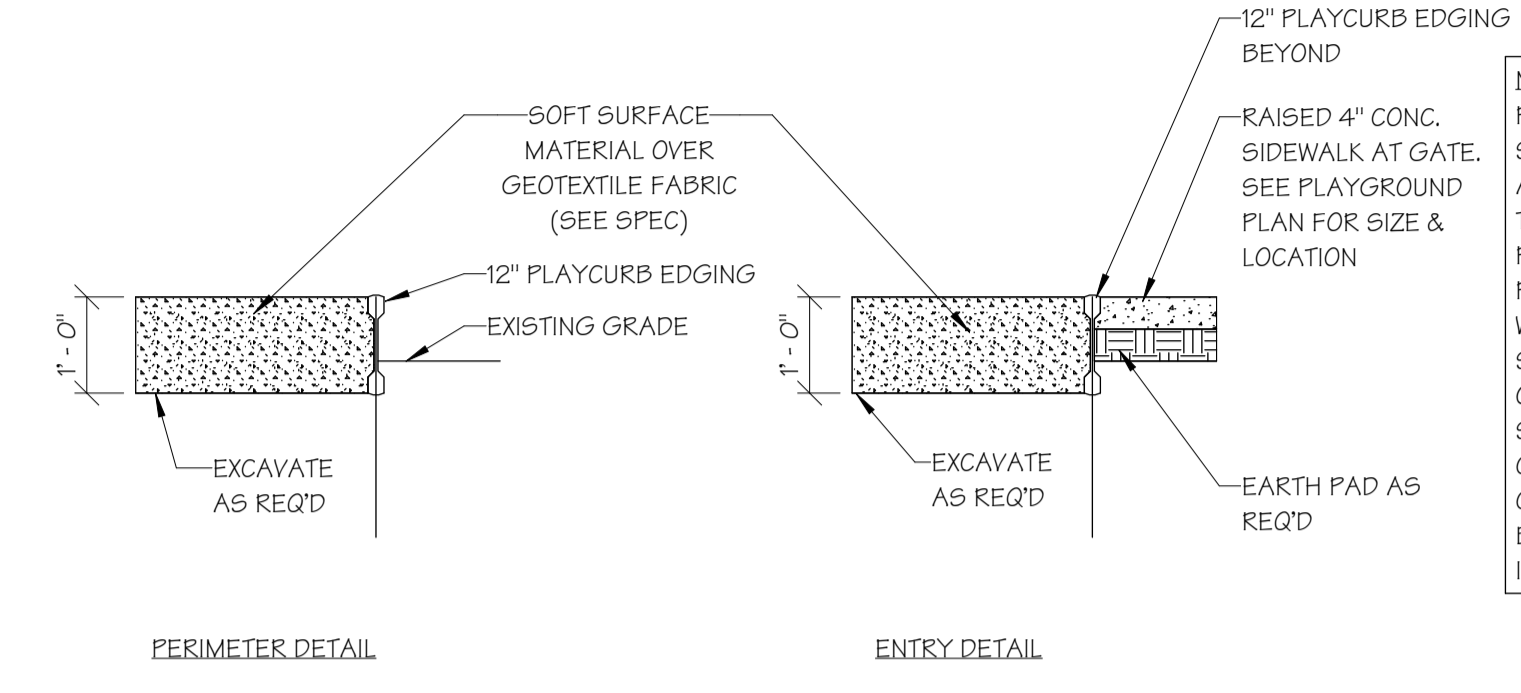
NOTE: SEE ARCHITECTURAL SITE PLAN (DRAWING SHEET ASD1.0R) FOR LOCATION.



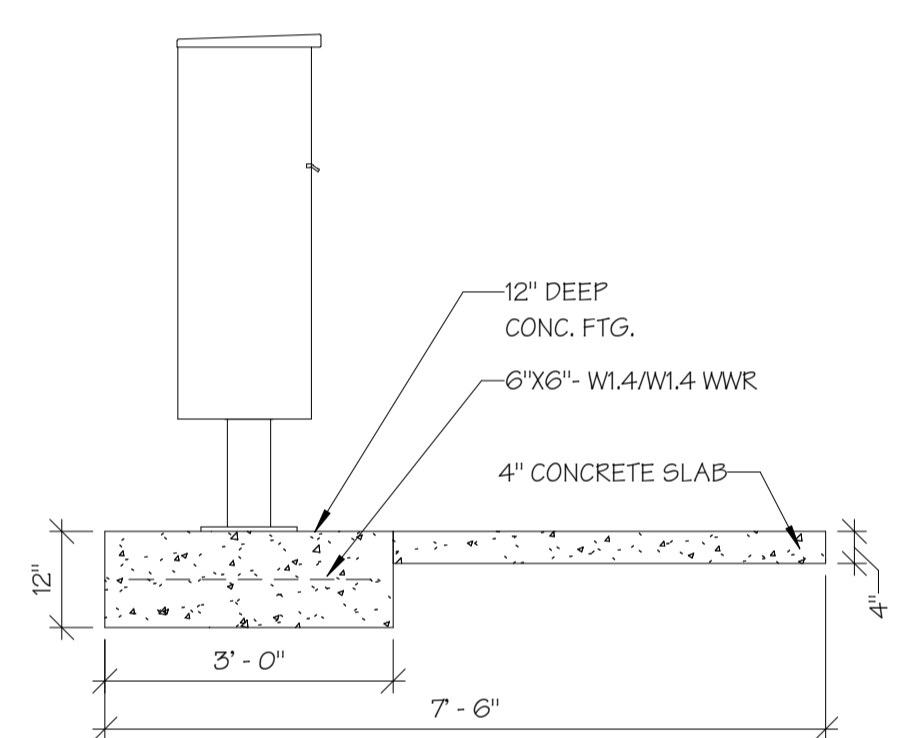
1 PICNIC TABLE PAD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



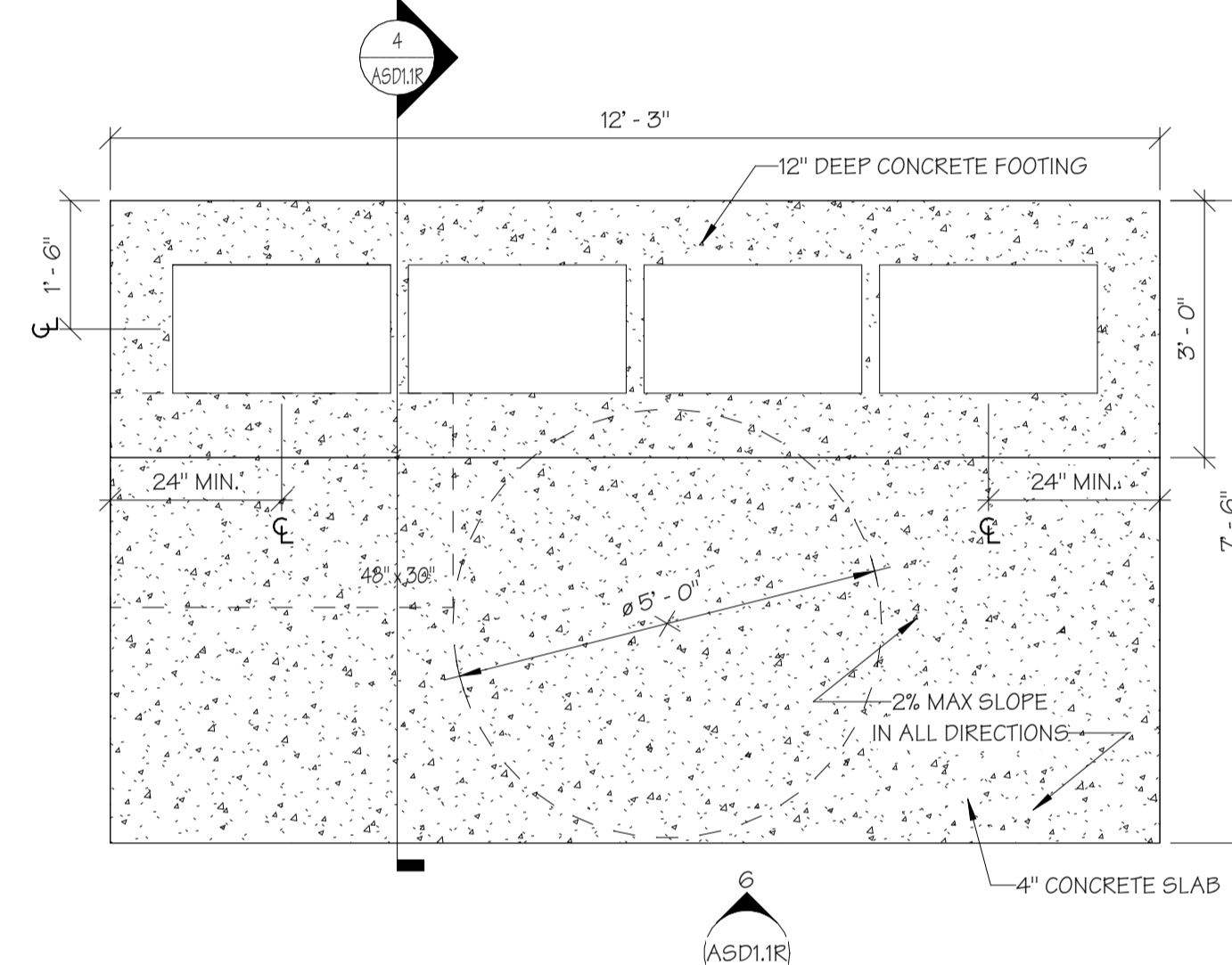
2 BBQ GRILL DETAIL
 SCALE: 1/2" = 1'-0"



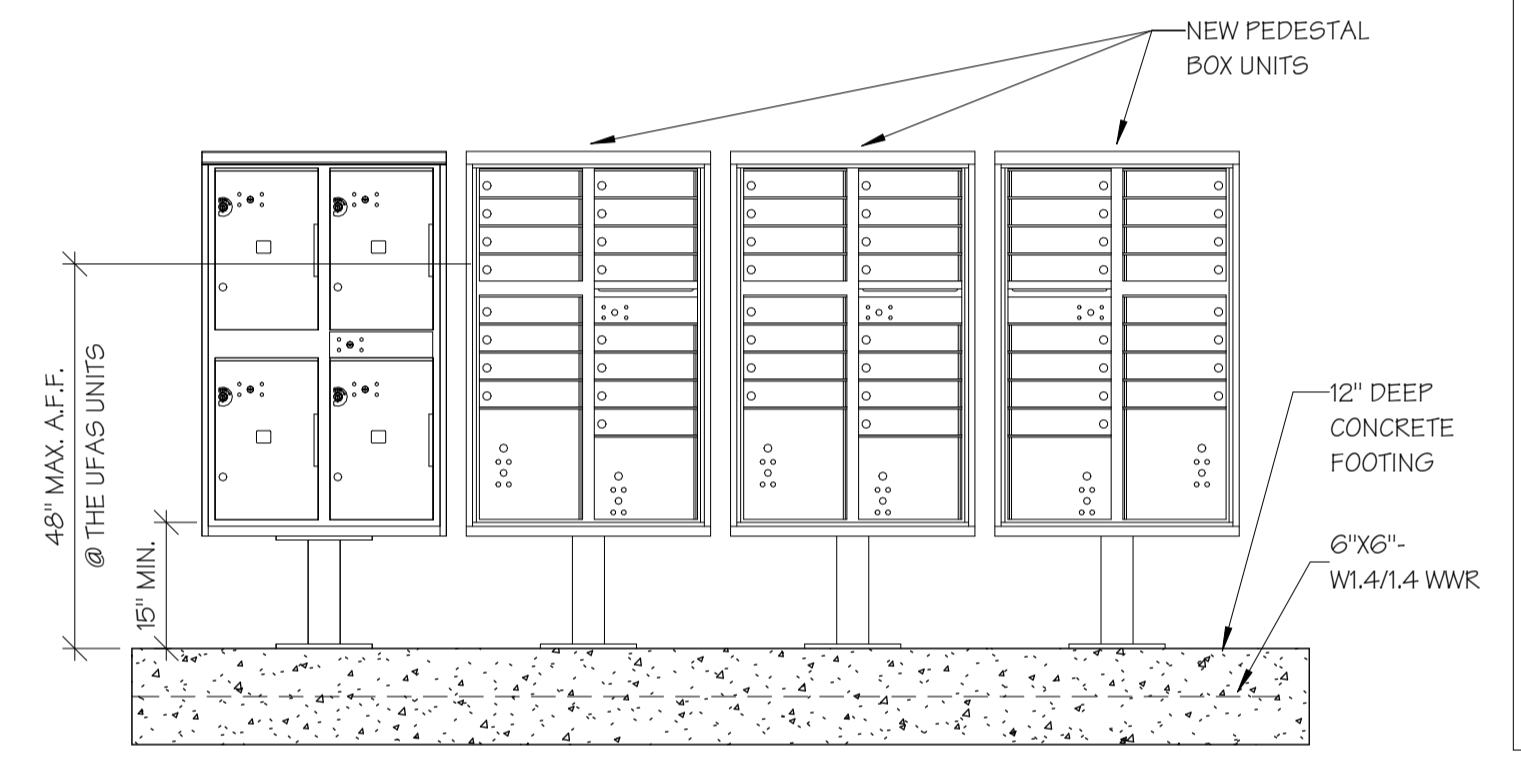
3 PLAYGROUND ENTRY & EDGING DETAILS
 SCALE: 1/2" = 1'-0"



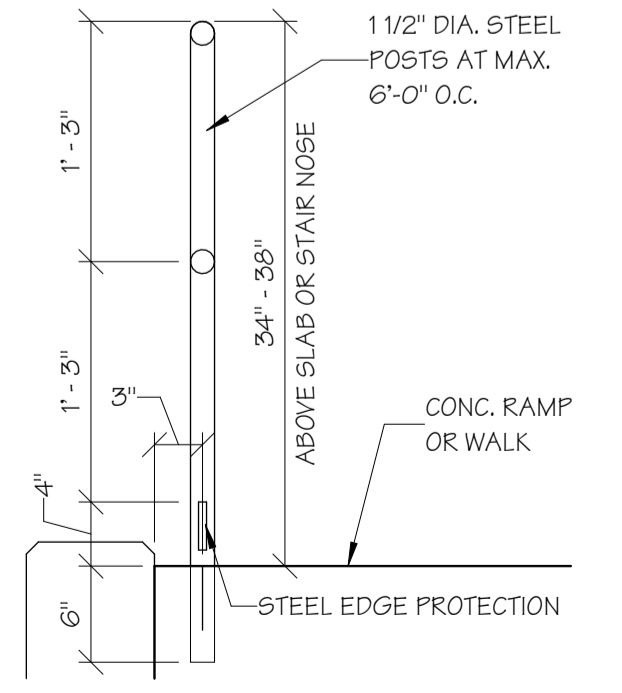
4 PEDESTAL MAILBOX SECTION
 SCALE: 1/2" = 1'-0"



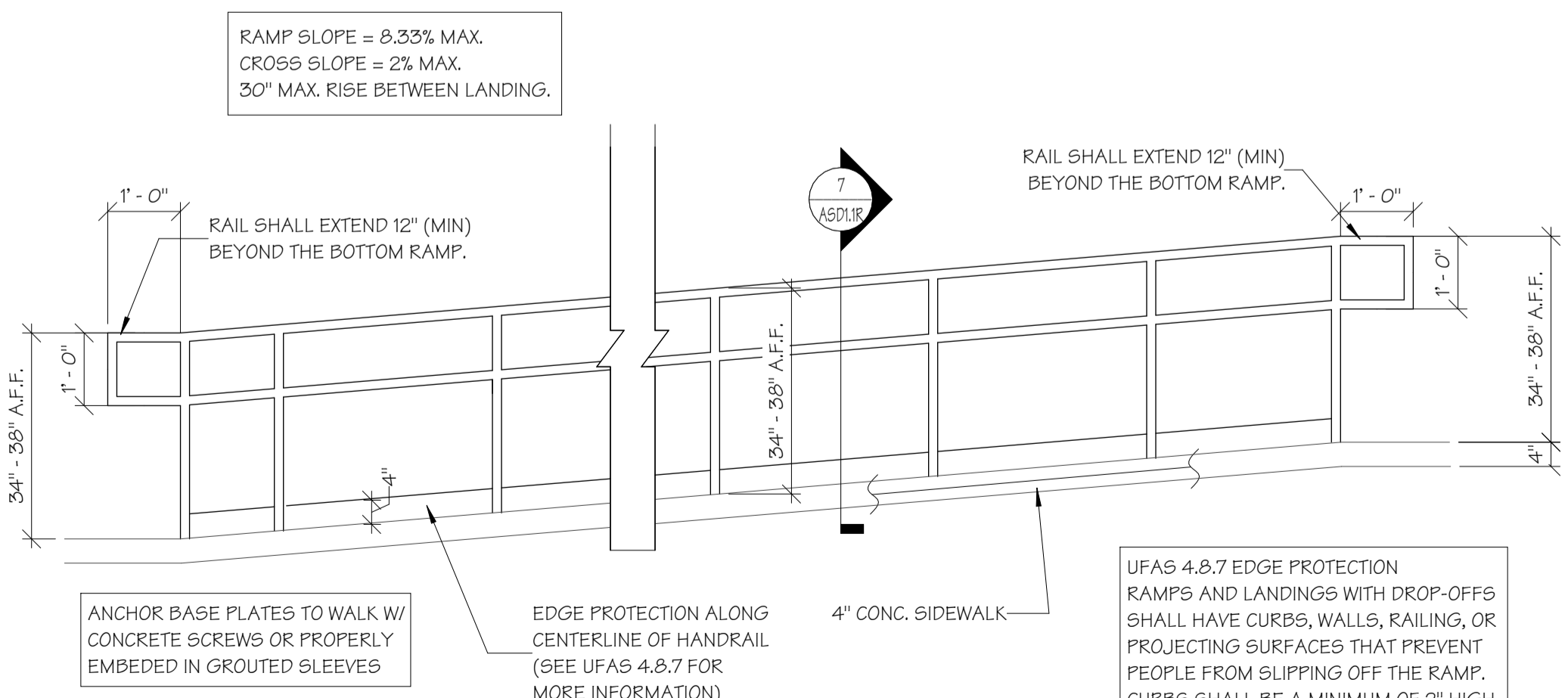
5 PEDESTAL MAILBOX FLOOR PLAN
 SCALE: 1/2" = 1'-0"



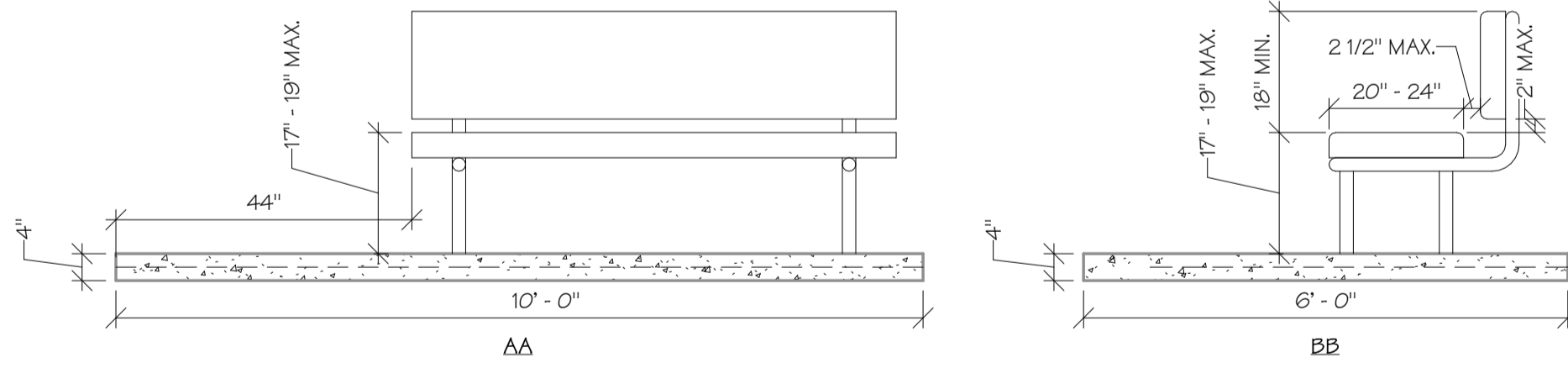
6 PEDESTAL MAILBOX ELEVATION
 SCALE: 1/2" = 1'-0"



7 HANDRAIL DETAIL
 SCALE: 1" = 1'-0"

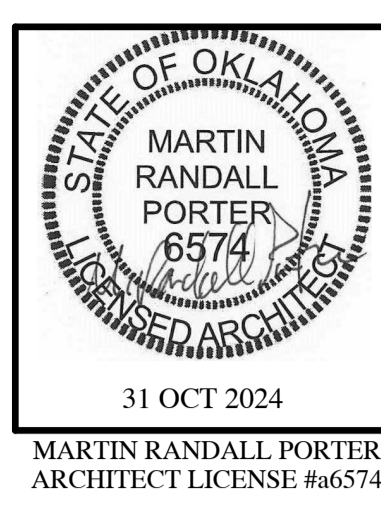


8 TYP. RAMP HANDRAIL
 SCALE: 1/2" = 1'-0"



9 OBSERVATION BENCH & PAD DETAIL
 SCALE: 1/2" = 1'-0"

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RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



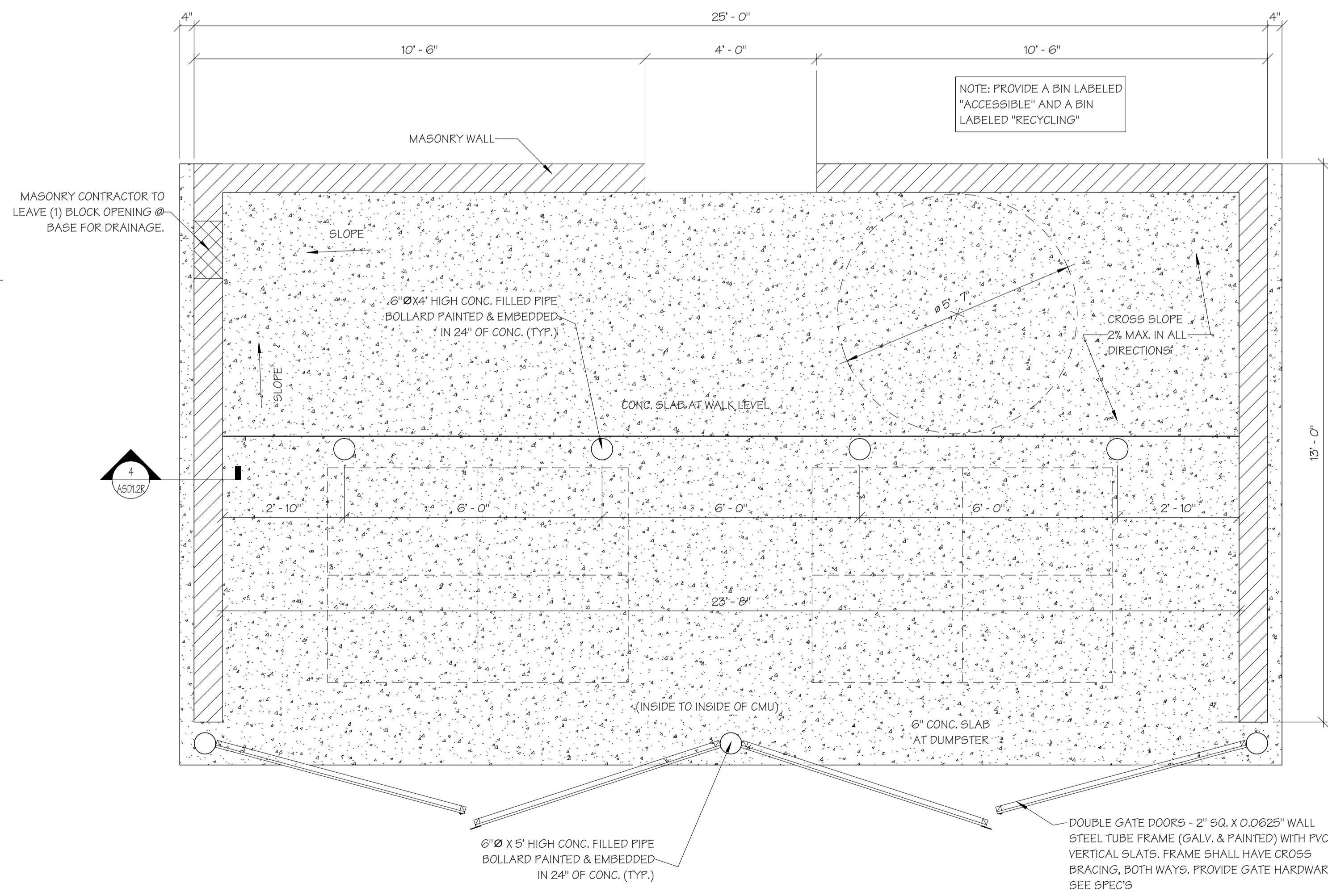
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 CERTIFICATE OF AUTHORITY:
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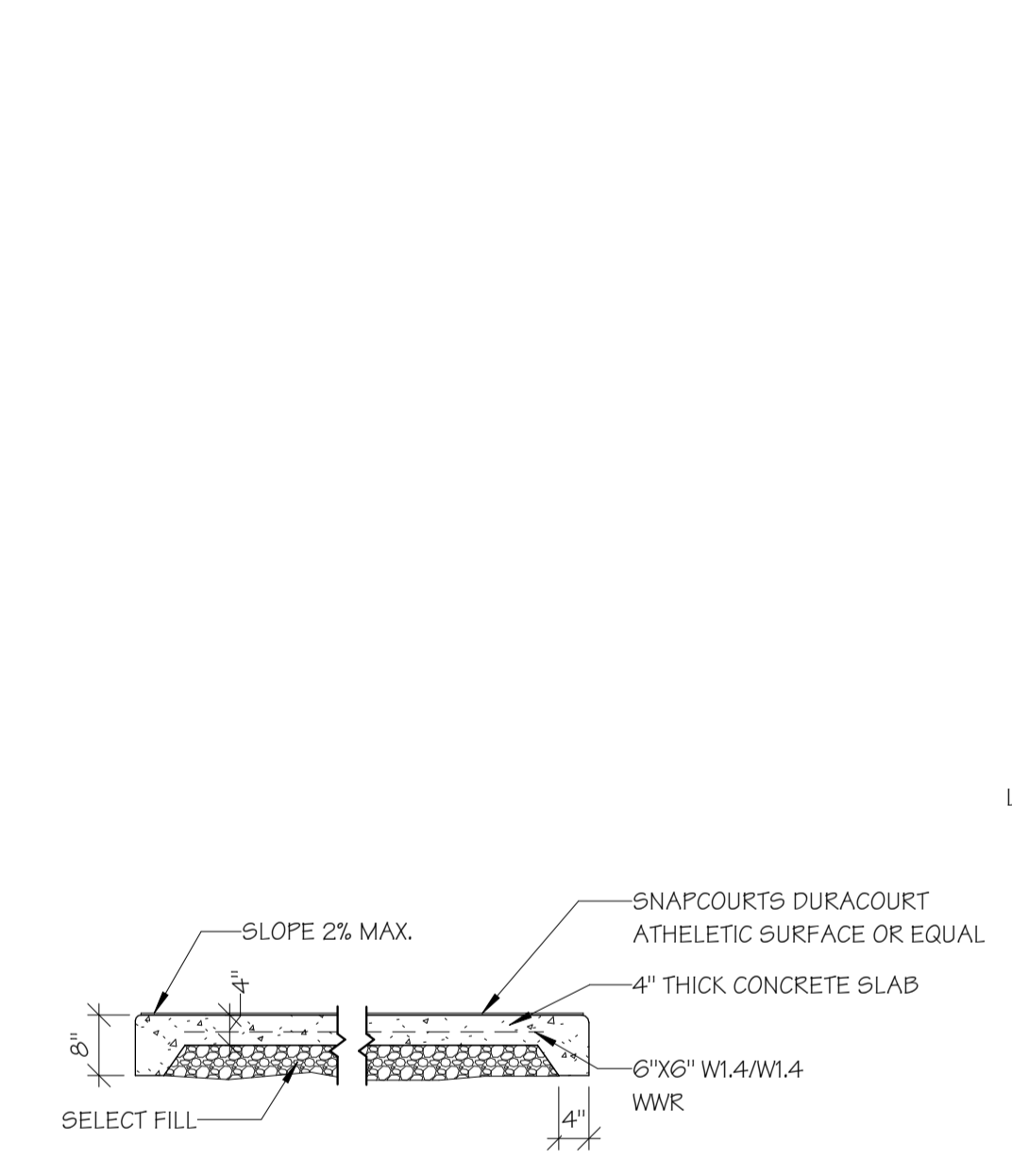


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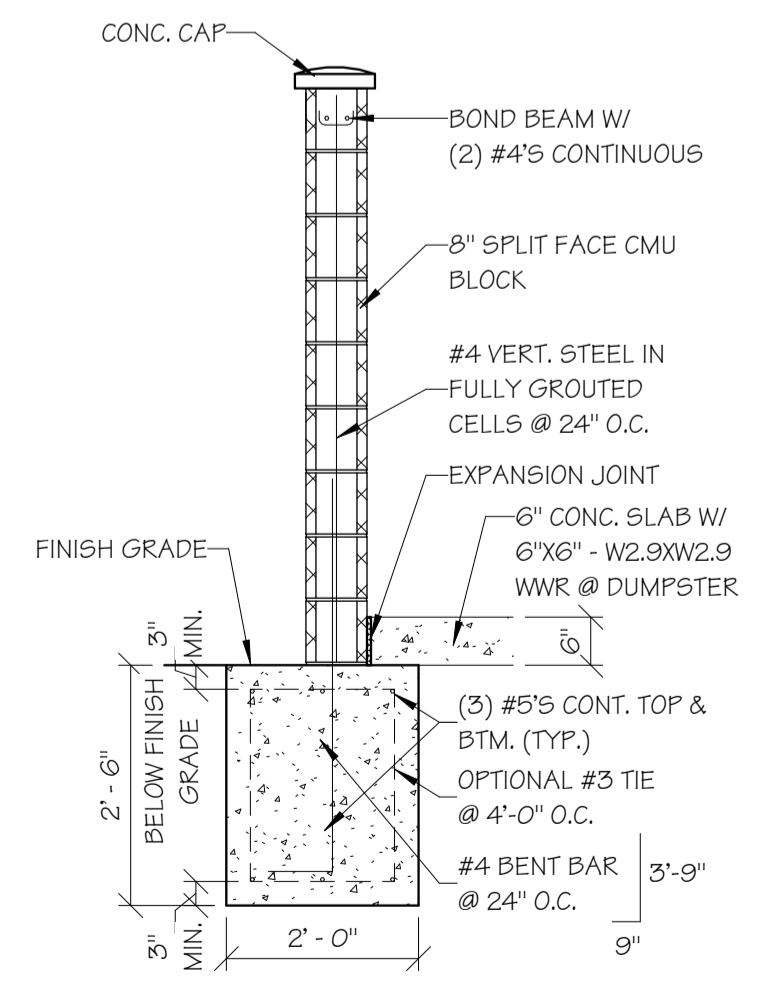
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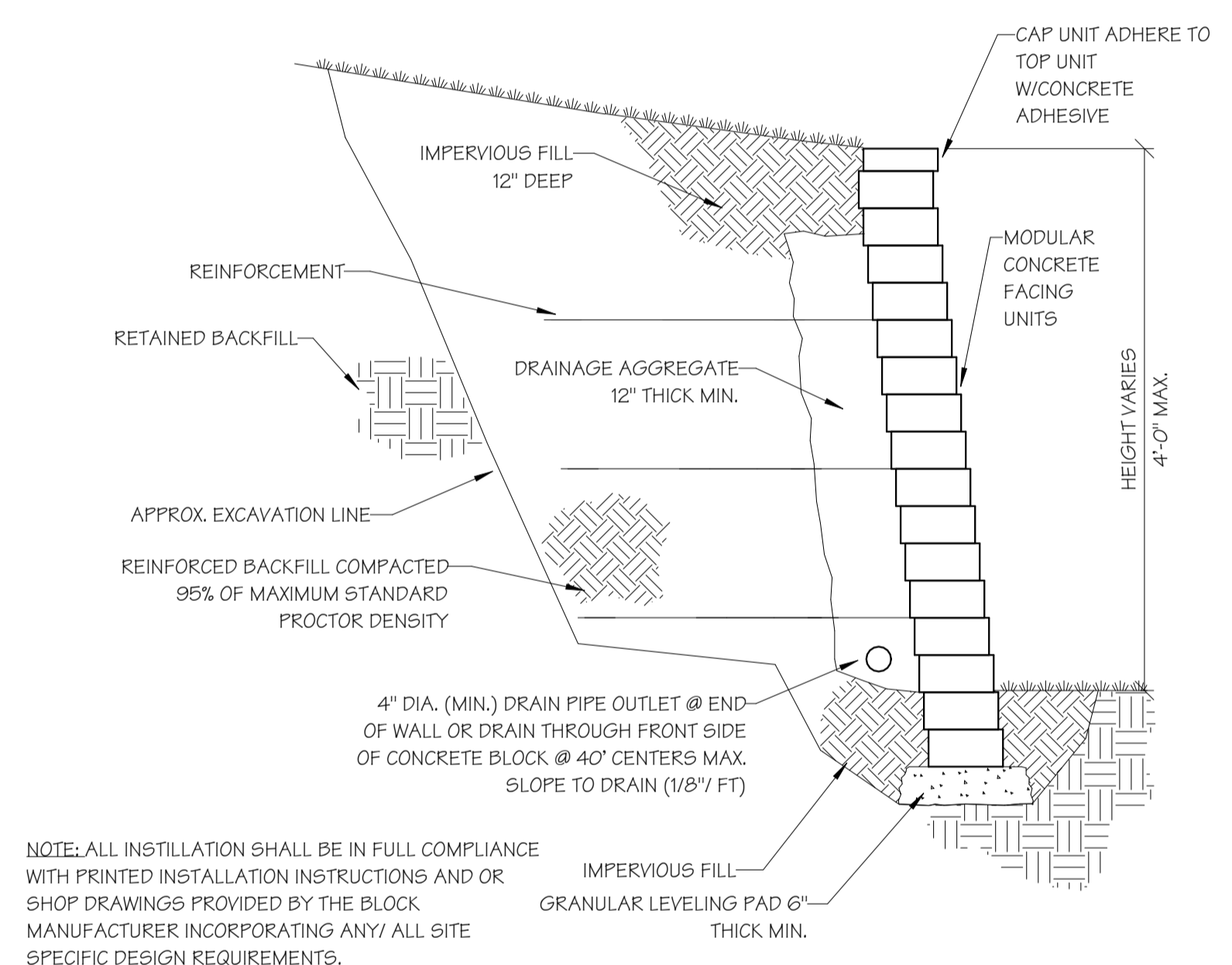
5 ACC. MASONRY DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



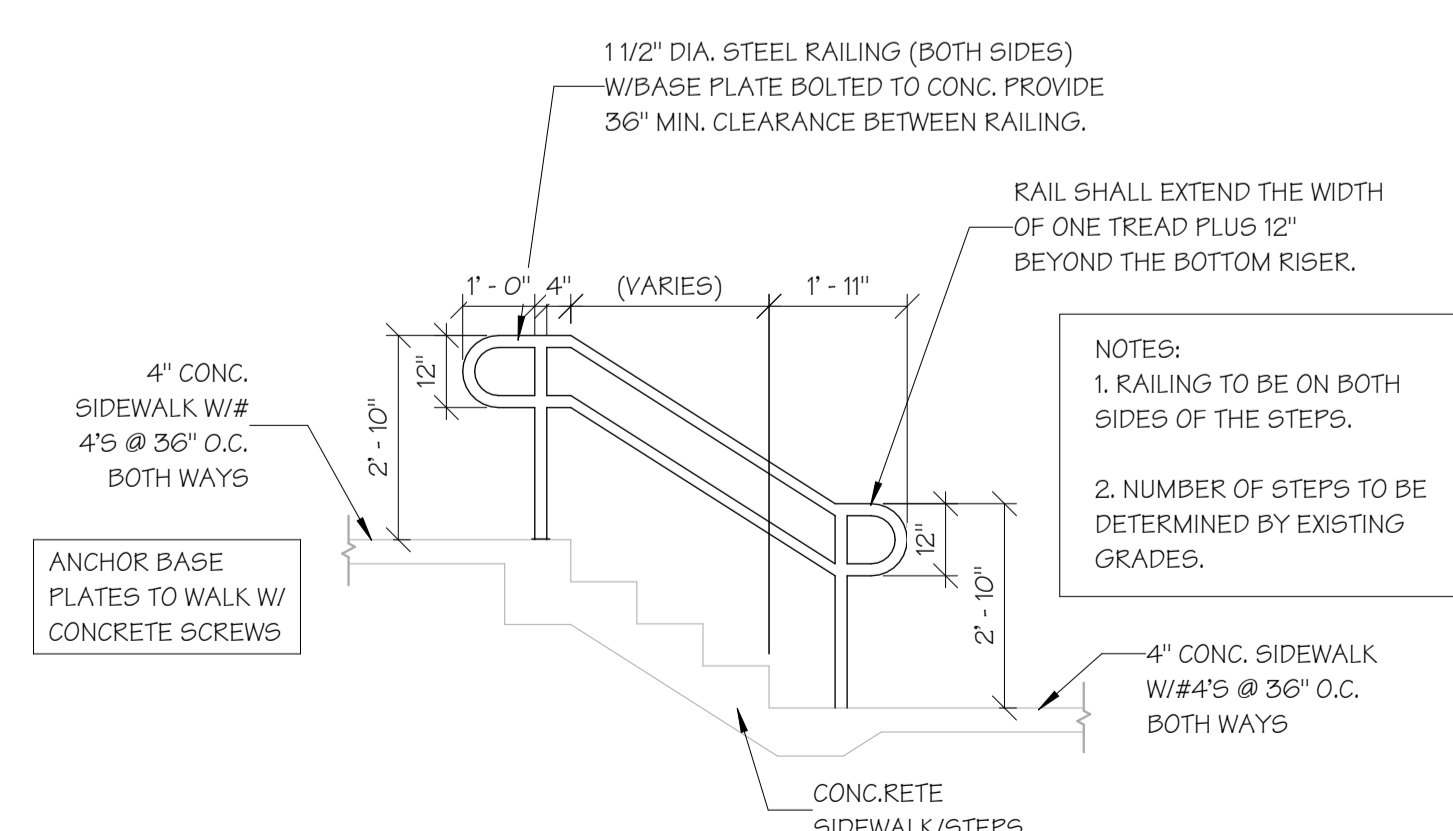
2 SPORT COURT DETAIL
 SCALE: 1/2" = 1'-0"



4 DUMPSTER ENCLOSURE SECTION
 SCALE: 1/2" = 1'-0"



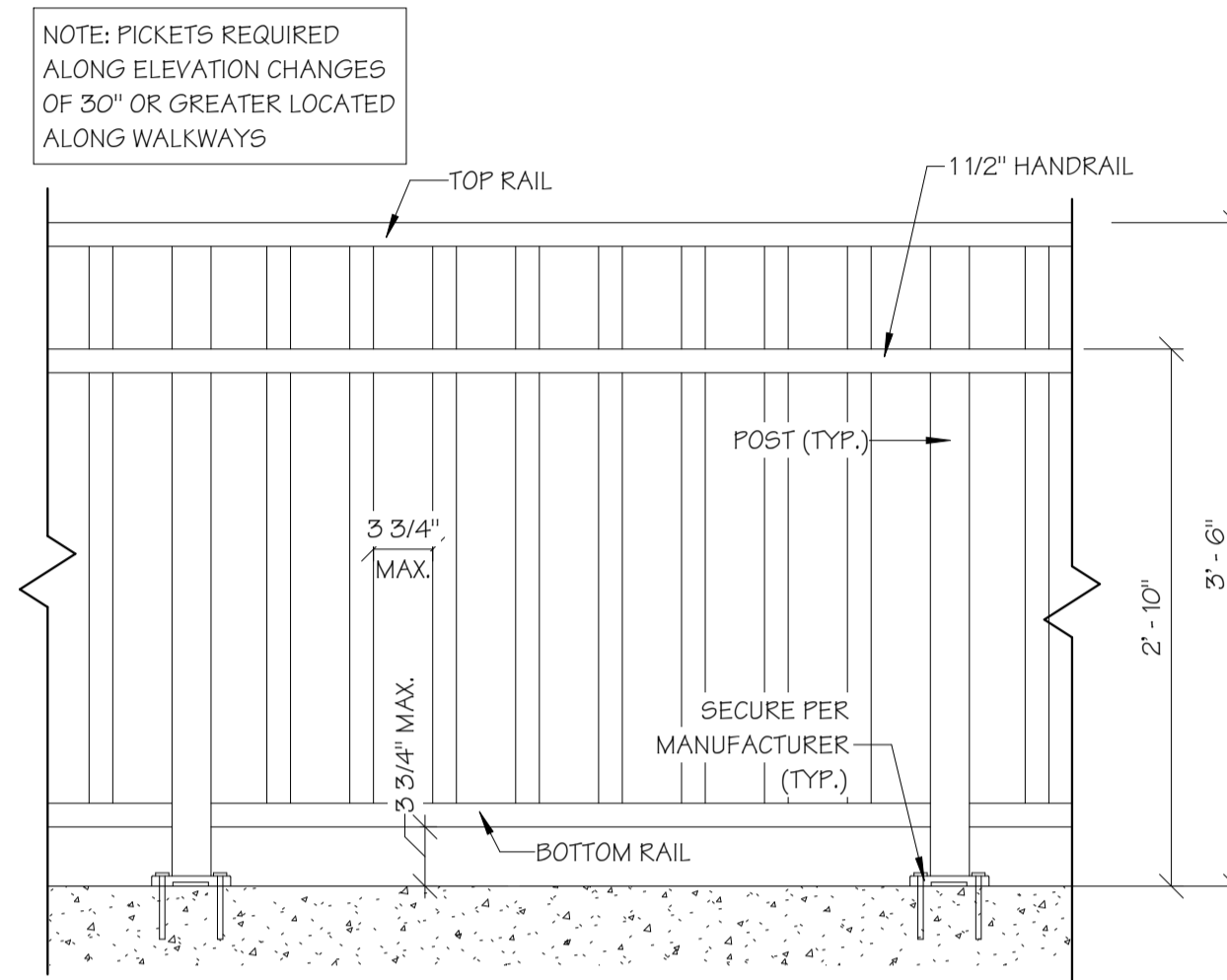
1 MODULAR RETAINING WALL SECTION
 SCALE: 1/2" = 1'-0"



3 SITE STAIR
 SCALE: 3/8" = 1'-0"

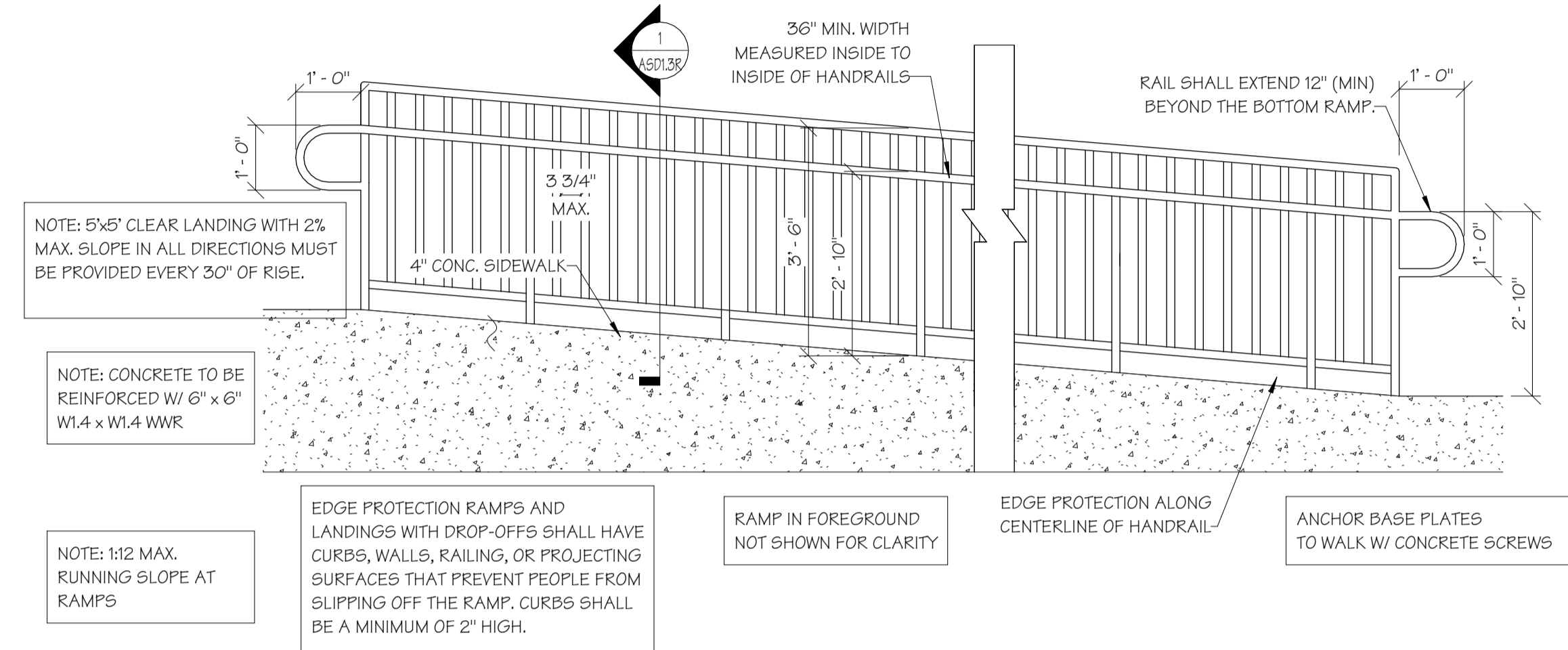
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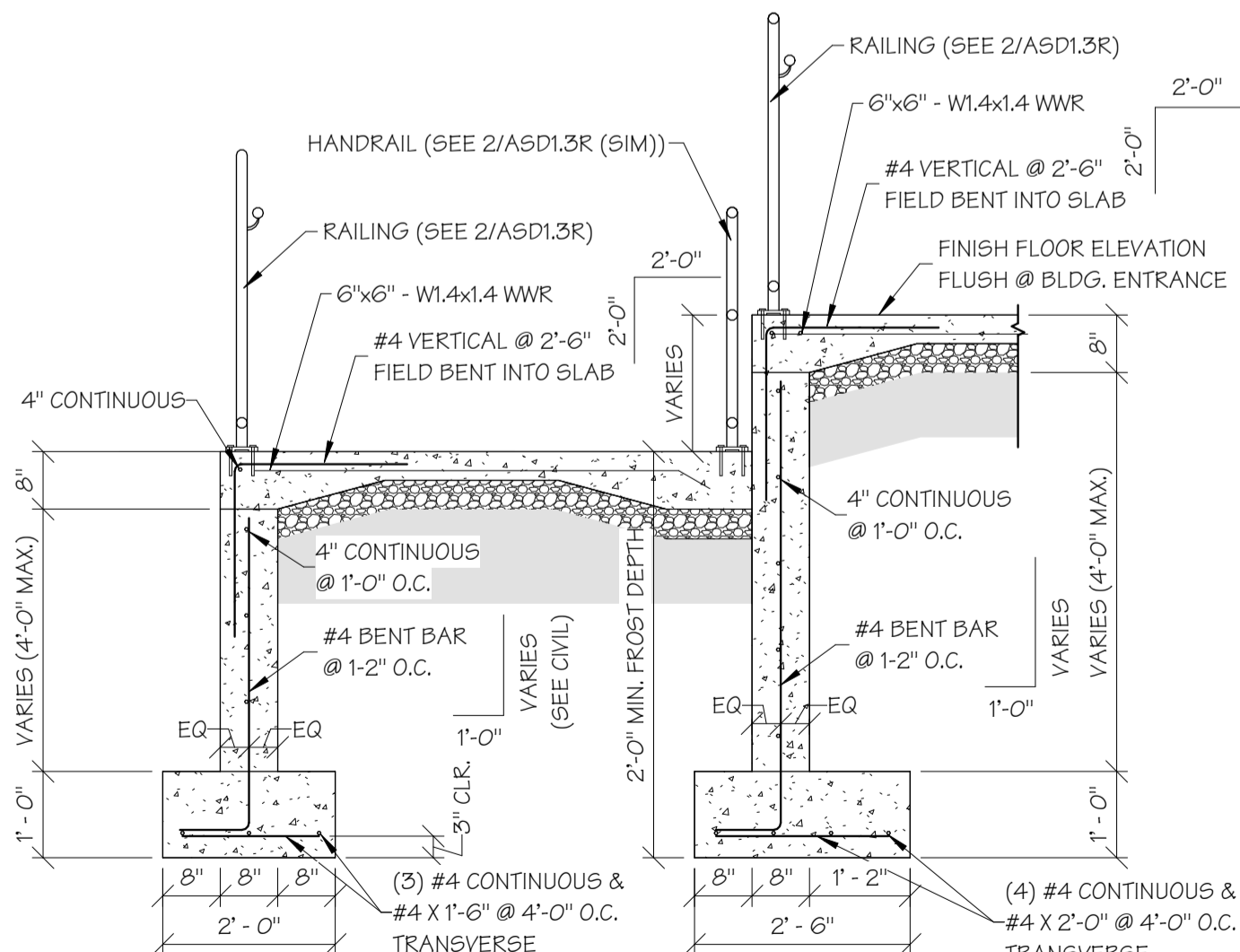
GUARDRAIL DETAIL

1
 15013R
 SCALE: 1" = 1'-0"



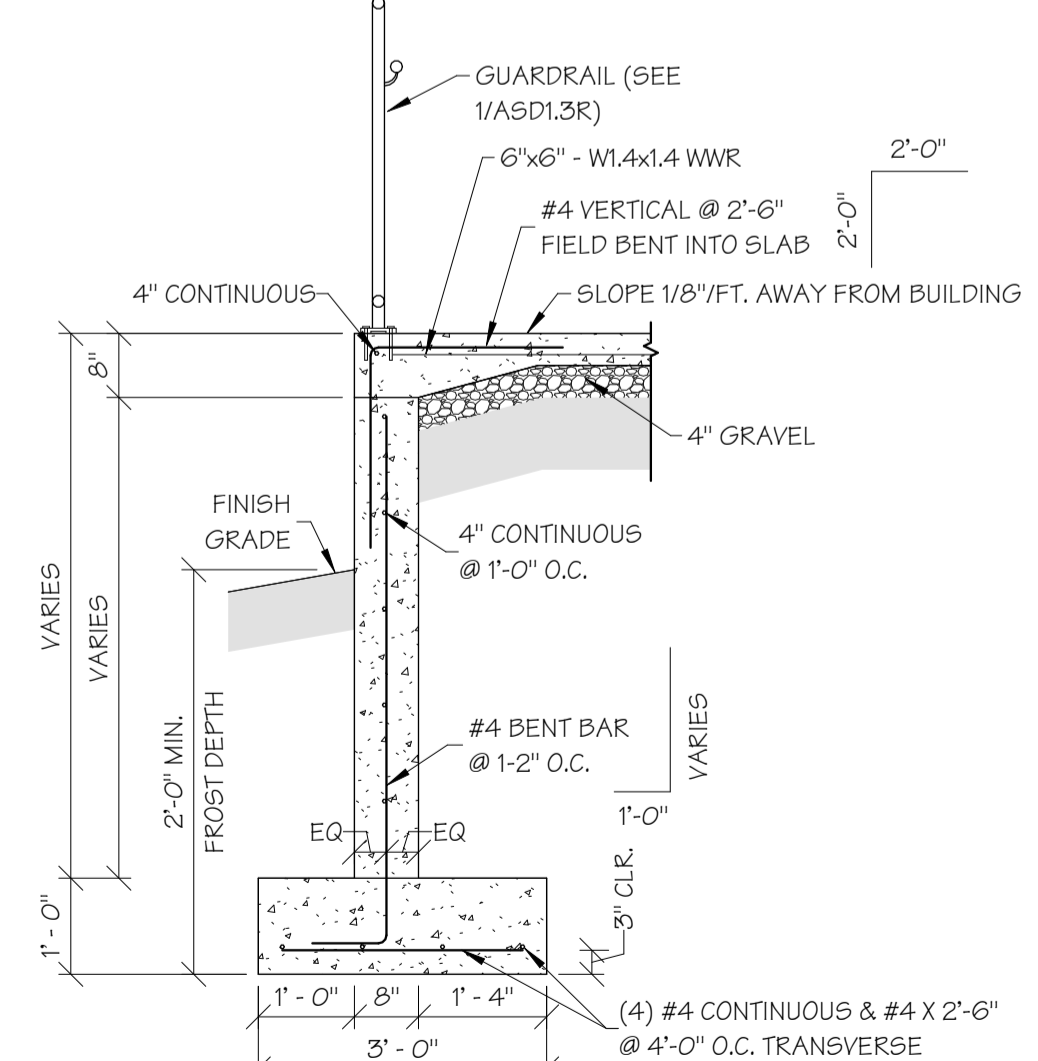
RAMP GUARDRAIL ELEVATION

2
 15013R
 SCALE: 1/2" = 1'-0"



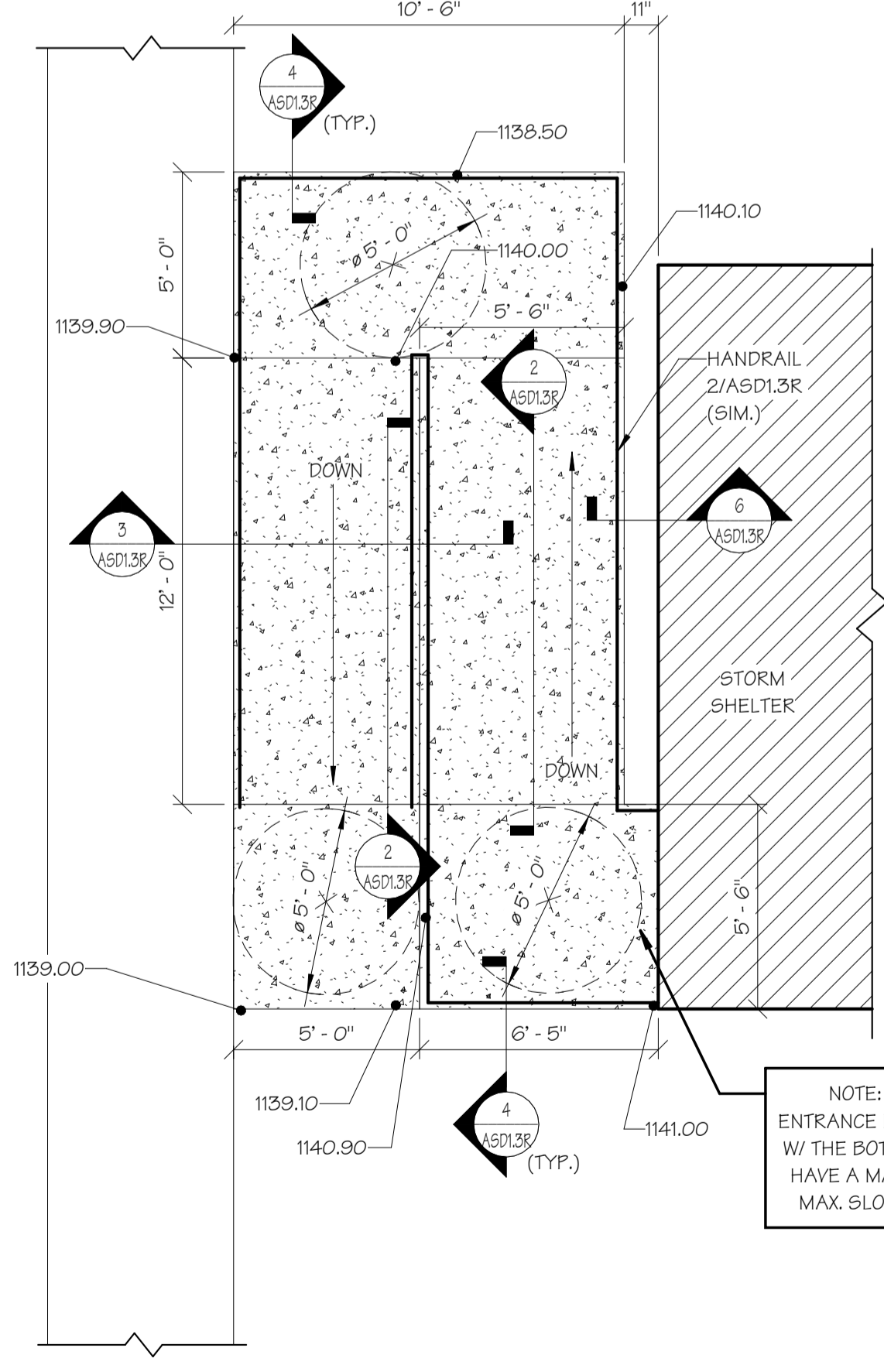
RAMP SECTION

3
 15013R
 SCALE: 1/2" = 1'-0"



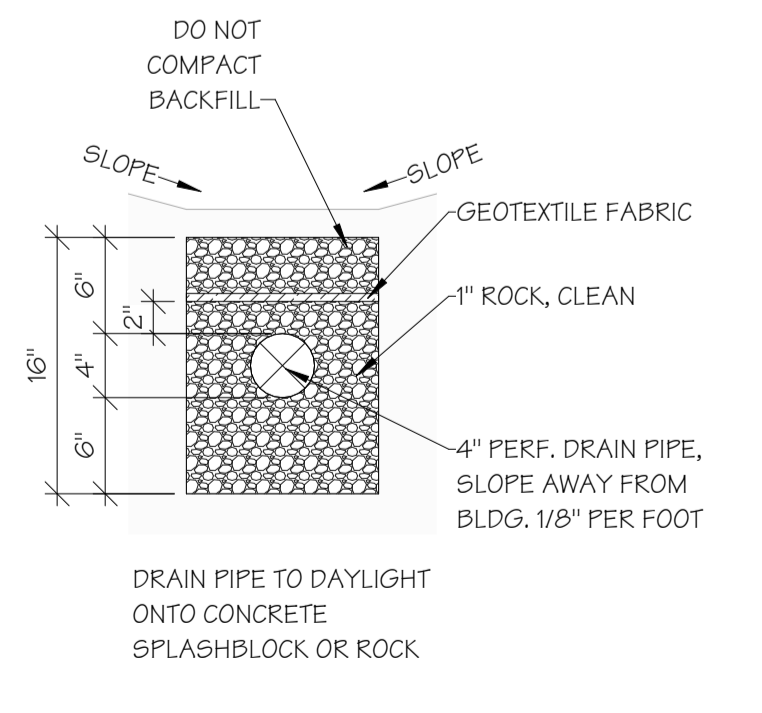
PATIO STEM WALL SECTION

4
 15013R
 SCALE: 1/2" = 1'-0"



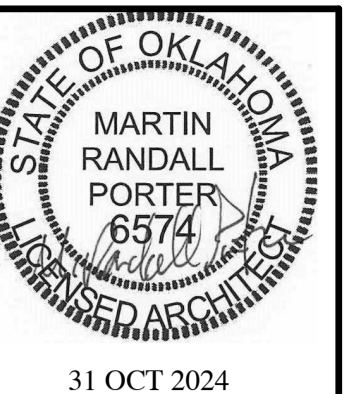
SWITCH BACK RAMP DETAIL

5
 15013R
 SCALE: 1/4" = 1'-0"



FRENCH DRAIN DETAIL

6
 15013R
 SCALE: 1" = 1'-0"



31 OCT 2024
MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

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RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS LLC
Columbia, MO
P 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
ca01173

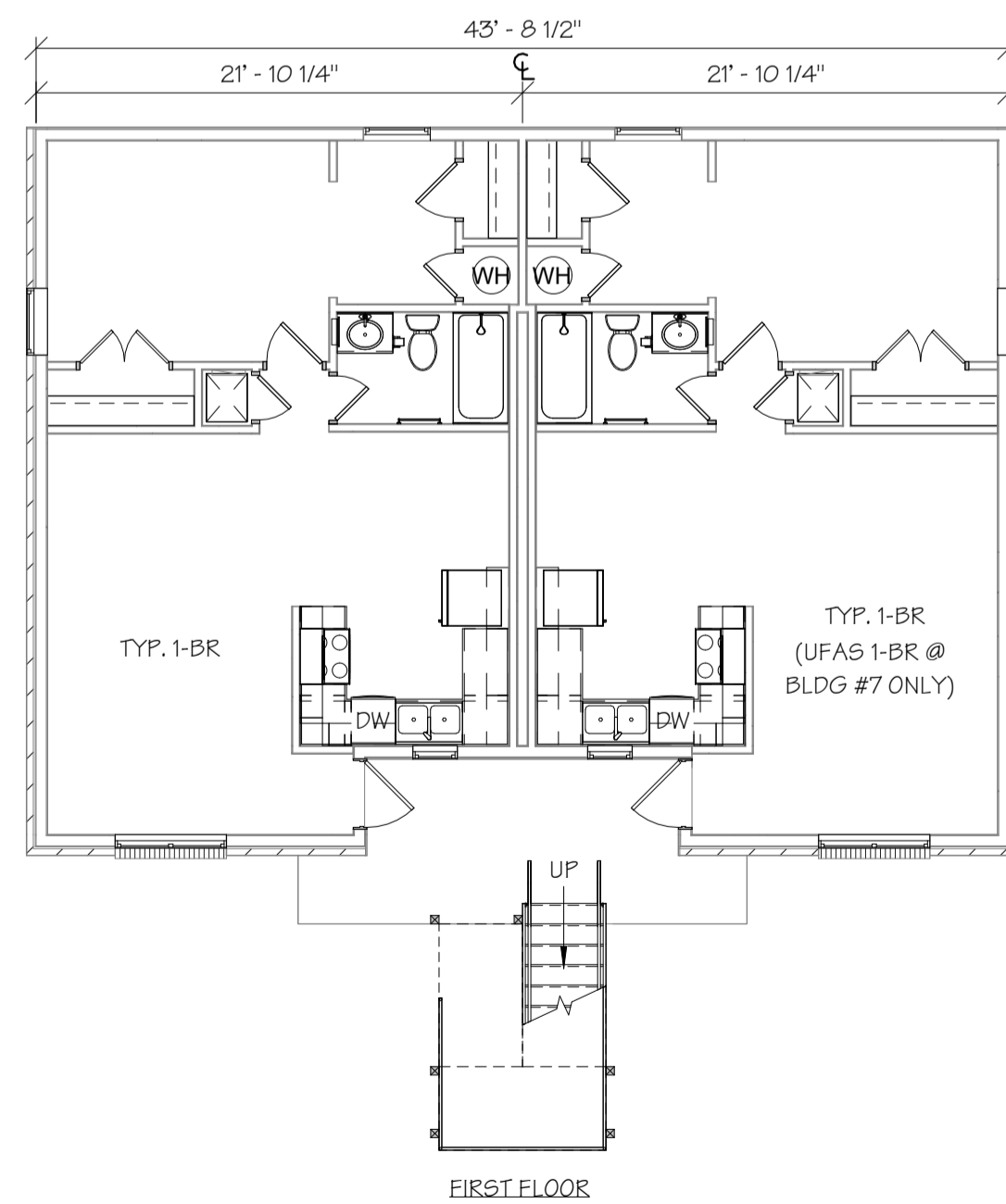
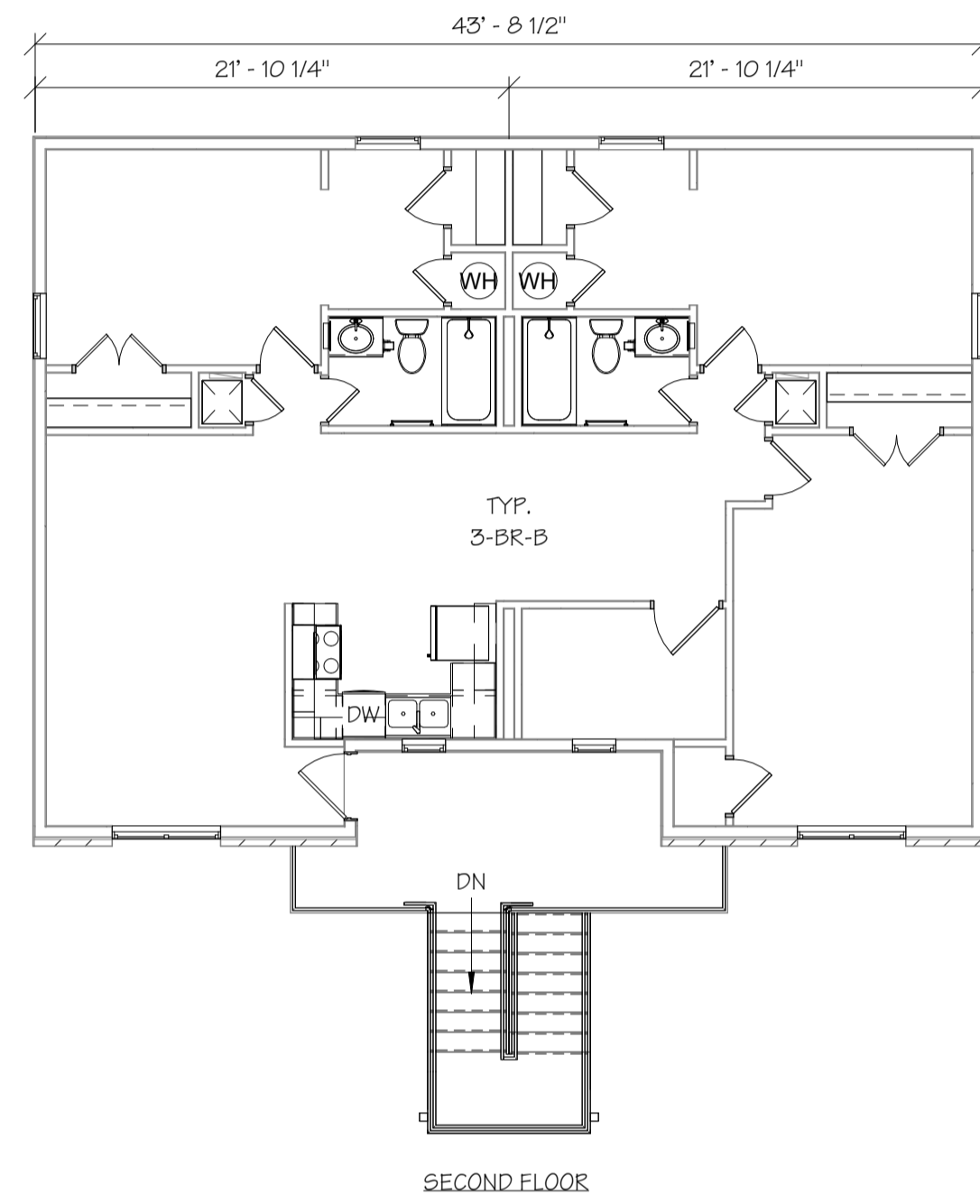
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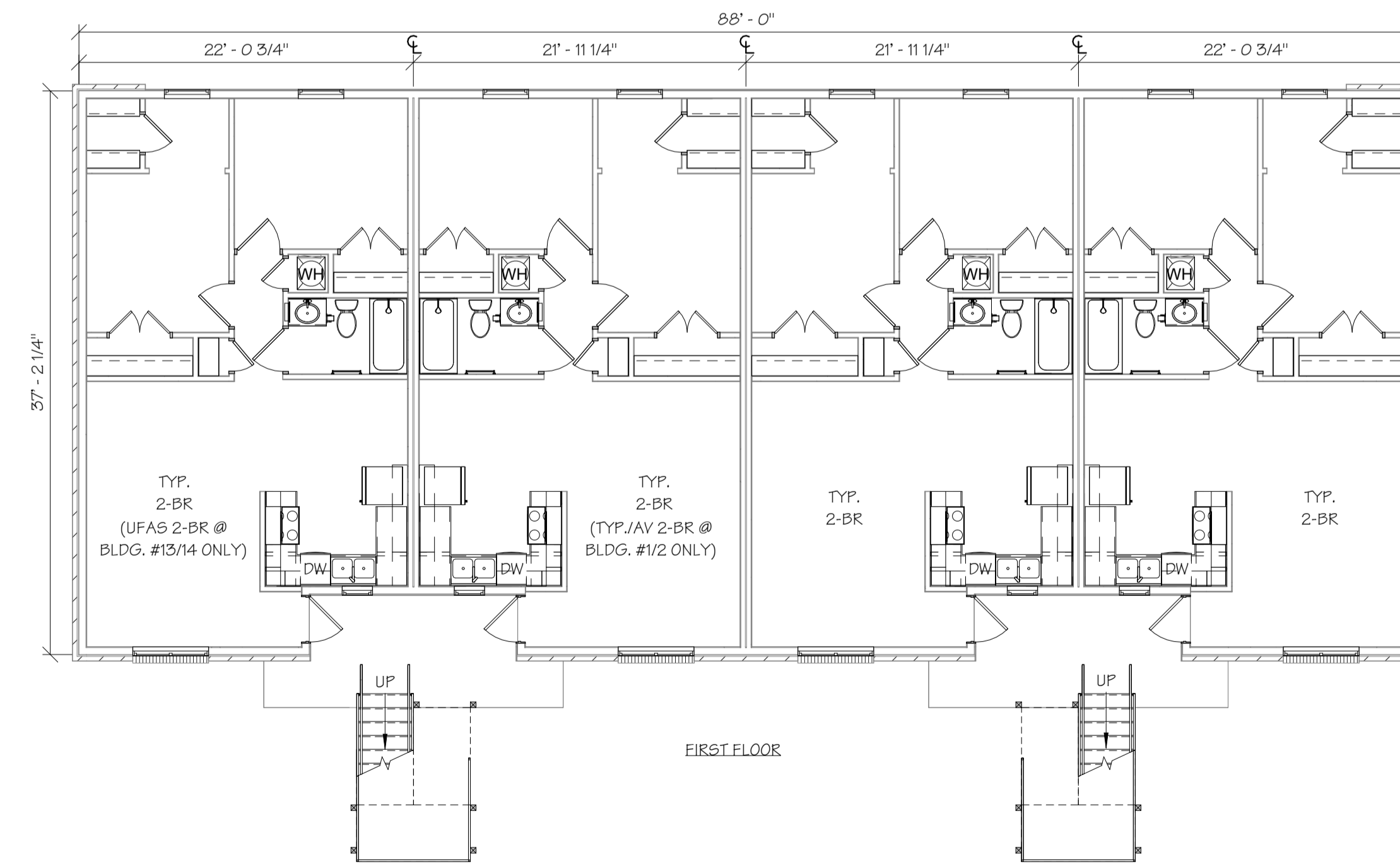
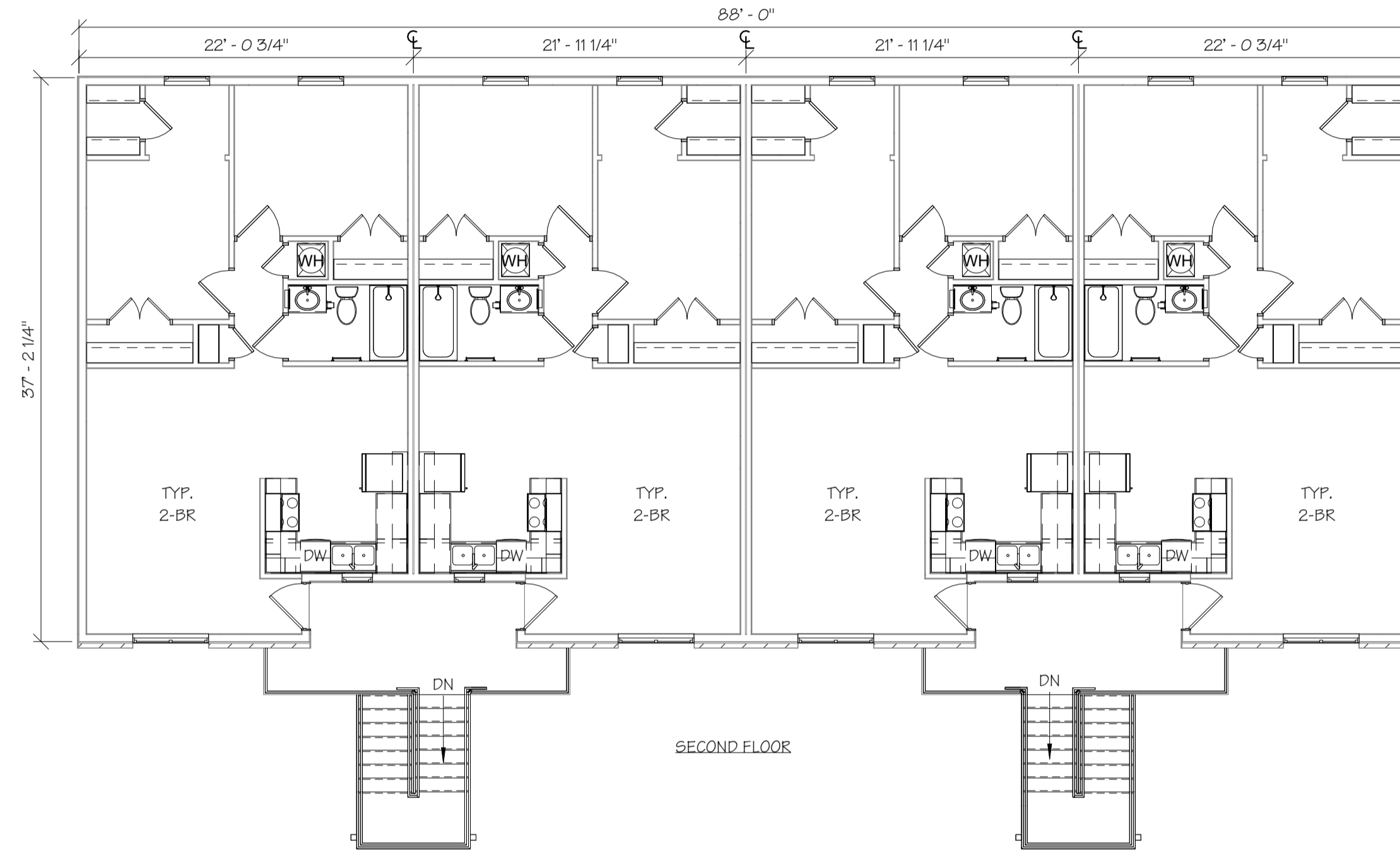
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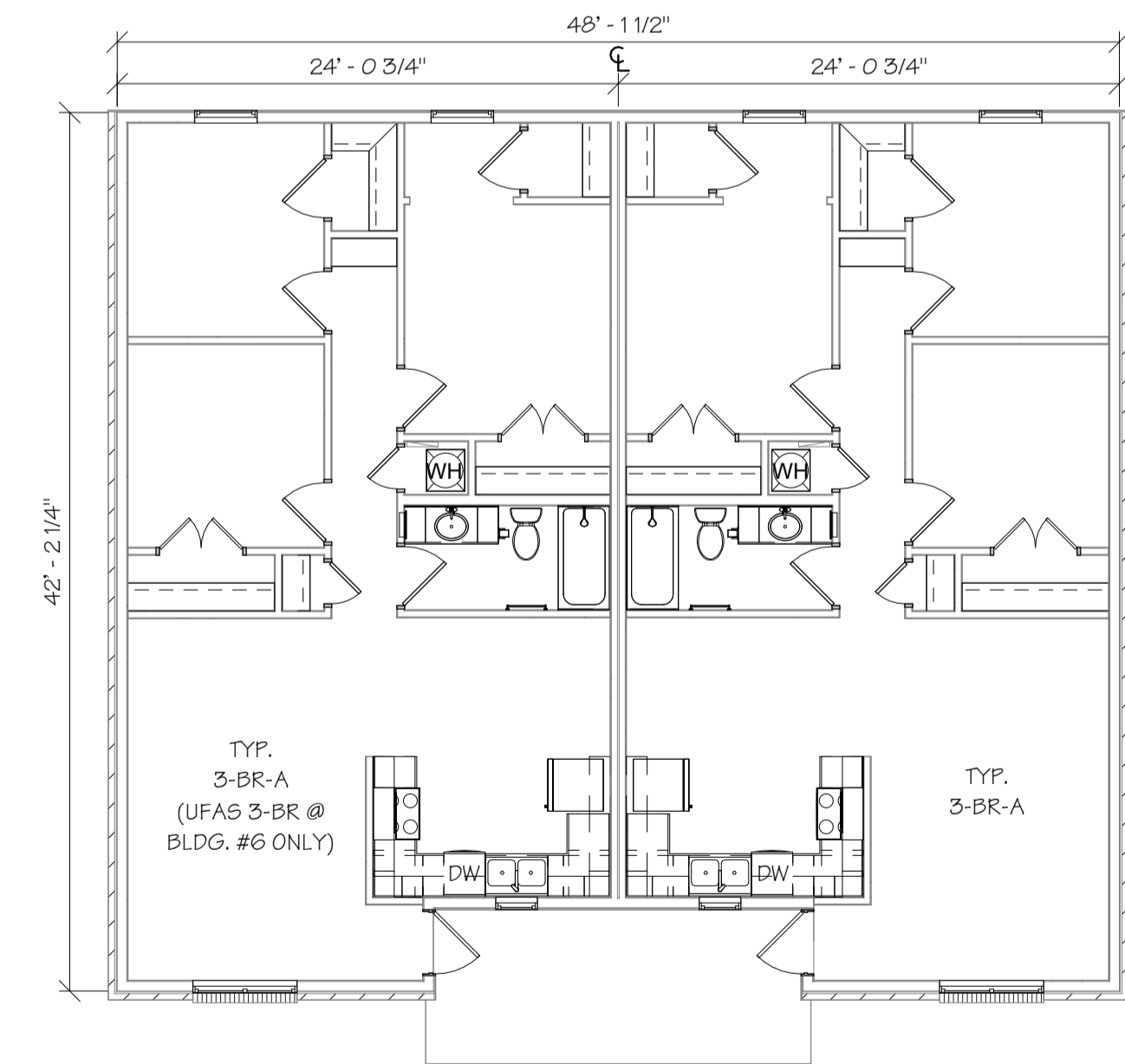
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1
A1.0R SCALE: 1/8" = 1'-0"
BUILDING TYPE "A" FLOOR PLAN
▲ (BLDG. #7) ▼ (BLDG. #8)

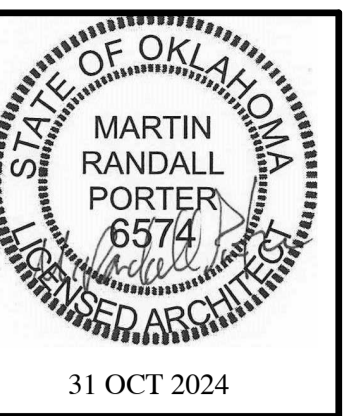


2
A1.0R SCALE: 1/8" = 1'-0"
BUILDING TYPE "B" FLOOR PLAN
▲ (BLDG. #1/2 & #3/4) ▼ (TYP. 1-BR @ BLDG. #7 ONLY) ▲ (TYP. 1-BR @ BLDG. #13/14 ONLY) ▼ (TYP. 2-BR @ BLDG. #1/2 ONLY)



3
A1.0R SCALE: 1/8" = 1'-0"
BUILDING TYPE "C" FLOOR PLAN
▲ (BLDG. #9 & #10) ▼ (BLDG. #5 & #6)

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MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

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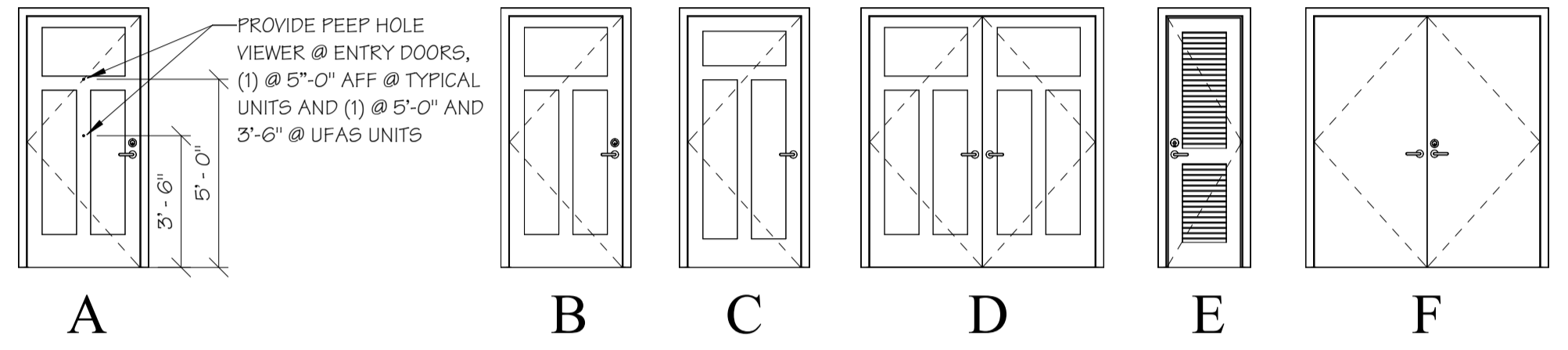
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UNIT INTERIOR KEYNOTES

- U1 PROVIDE UFAS APARTMENT(S) (5% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATIONS
- U2 PROVIDE 1 AUDIOVISUAL APARTMENT (2% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATION
- U3 PROVIDE GENERAL DEMO: DOORS, TRIM, CABINETS, PLUMBING, HVAC, APPLIANCES ETC. TO INCLUDE ACCESSIBILITY CLEARANCES AT UFAS UNITS AS INDICATED ON PLANS
- U4 RE-ATTACH ANY LOOSE 2ND FLOOR DECKING AND REPLACE MOISTURE DAMAGED AREAS; FASTEN WITH UNDERLAYMENT SCREWS
- U5 AT ALL UFAS UNITS INSTALL SOLID 2X8 MIN. WOOD BLOCKING AND GRAB BARS AT TOILETS PER INTERIOR ELEVATIONS
- U6 PROVIDE DRYWALL PATCHING AND REPAIRS AS NEEDED, INSTALL NEW DRYWALL AT NEW WALLS PER UNIT PLANS; PROVIDE FINISH/TEXTURE PER FINISH SCHEDULE(S)
- U7 REMOVE EXISTING AND INSTALL NEW 3-PANEL INTERIOR DOORS PER DOOR SCHEDULE; AT UFAS UNITS, PROVIDE ACCESSIBLE THRESHOLDS AND ACCESSIBILITY CLEARANCES AS REQUIRED
- U8 REMOVE EXISTING AND INSTALL NEW KITCHEN CABINETS (BASE, UPPER AND P-LAM COUNTERTOP) AS INDICATED ON PLANS; INSTALL ACCESSIBLE CABINETS IN UFAS UNIT(S), LIP OF SINK TO BE 34" MAX. A.F.F.
- U9 REMOVE EXISTING AND INSTALL NEW BATHROOM VANITY CABINETS (BASE & P-LAM COUNTERTOP) AS INDICATED ON PLANS. INSTALL NEW ACCESSIBLE APRON-STYLE VANITY WITH DROP-IN SINK/WALL HUNG LAVATORY AT UFAS UNIT(S)
- U10 REMOVE EXISTING AND INSTALL NEW LUXURY VINYL PLANK FLOORING PER FINISH SCHEDULE (LOW VOC) PATTERN & COLOR SELECTED BY OWNER
- U11 REMOVE EXISTING AND INSTALL NEW 5 1/4" PRE-PRIMED PINE BASE TRIM PER FINISH SCHEDULE
- U12 REMOVE EXISTING AND INSTALL NEW WOOD PRIMED PINE WINDOW SILLS (PAINT COLOR SELECTED BY OWNER)
- U13 VERIFY EQUIVALENT R-VALUE OF EXISTING ATTIC INSULATION. PROVIDE BLOW-IN CELLULOSE INSULATION TO ACHIEVE AN R-38 RATING IN THE ATTICS OF ALL BUILDINGS
- U14 PROVIDE PRIMER & PAINTING AT ALL INTERIOR WALLS, CEILINGS, DOORS (ALL 6 SIDES) AND TRIM (LOW VOC) ONE COLOR/ONE SHEEN SELECTED BY OWNER
- U15 SCRAPE/REMOVE EXISTING "POPCORN" CEILING TEXTURE THROUGHOUT ALL UNITS AND REPLACE WITH NEW "KNOCKDOWN" TEXTURE PER FINISH SCHEDULE
- U16 REMOVE EXISTING AND INSTALL NEW FLOOR MOUNTED DOORSTOPS PER SPECS
- U17 REMOVE ALL EXISTING SHELVING AND INSTALL NEW VINYL COATED WIRE SHELVING AS INDICATED ON PLANS; INCLUDE HANGER ROD AT LOCATIONS SHOWN ON PLANS
- U18 REMOVE EXISTING AND INSTALL NEW CORDLESS 2" FAUX WOOD HORIZONTAL BLINDS THROUGHOUT
- U19 REMOVE EXISTING AND INSTALL NEW VANITY MIRRORS, RECESSED MEDICINE CABINETS, (24" MIN.) TOWEL BARS, TOWEL RINGS, SHOWER RODS, AND WALL-MOUNTED TOILET PAPER HOLDERS; SEE INTERIOR ELEVATION DETAILS SHEET(S)
- U20 INSTALL NEW C-SHAPED PULL HARDWARE AT ALL KITCHEN CABINET DRAWERS AND DOORS AT UFAS UNIT(S)
- U21 INSTALL NEW ENERGY STAR CERTIFIED DISHWASHER IN ALL TYPICAL UNITS; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
- U22 REMOVE EXISTING ELECTRIC RANGE AND INSTALL NEW 30" ELECTRIC FREESTANDING RANGE. PROVIDE ANTI-TIP BRACKET AT REAR OF ALL RANGES; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
- U23 REMOVE EXISTING AND INSTALL NEW FROST-FREE ENERGY STAR CERTIFIED REFRIGERATOR; INSTALL ACCESSIBLE CONTROL-STYLE AT ALL UFAS UNIT(S)
- U24 REMOVE EXISTING AND INSTALL NEW VENTED MICROHOODS AT TYPICAL UNITS; INSTALL VENTED RANGEHOOD AND COUNTERTOP ACCESSIBLE MICROWAVE AT UFAS UNIT(S)

DOOR SCHEDULE						
MARK	DOOR SIZE	ELEV.	FRAME MTL.	PANEL MTL.	DOOR HARDWARE	REMARKS
1	3'-0" x 6'-8" x 1 3/4"	A	WD	FIBERGLASS	SEE SPECS.	3-PANEL, W/ PEEPHOLE, WEATHER STRIPPING, SPRING HINGES & ACC. THRESHOLD @ ALL UFAS UNITS (20 MIN. RATED @ 2ND FLOOR UNITS ONLY)
2	3'-0" x 6'-8" x 1 3/4"	B	WD	FIBERGLASS	SEE SPECS.	3-PANEL, WEATHER STRIPPING, SPRING HINGES & ACC. THRESHOLD
3	3'-0" x 6'-8" x 1 3/8"	C	WD	WD HC	SEE SPECS.	3-PANEL, MASONITE
4	2'-10" x 6'-8" x 1 3/8"	C	WD	WD HC	SEE SPECS.	3-PANEL, MASONITE
5	2'-6" x 6'-8" x 1 3/8"	C	WD	WD HC	SEE SPECS.	3-PANEL, MASONITE
6	2'-0" x 6'-8" x 1 3/8"	C	WD	WD HC	SEE SPECS.	3-PANEL, MASONITE
7	PR. 2'-0" x 6'-8" x 1 3/8"	D	WD	WD HC	SEE SPECS.	3-PANEL, MASONITE
8	2'-0" x 6'-8" x 1 3/4"	E	WD	WD SC	SEE SPECS.	MASONITE, LOUVERED
9	PR. 3'-0" x 6'-8" x 1 3/4"	F	WD	FIBERGLASS	SEE SPECS.	FLUSH PANEL, WEATHER STRIPPING
10	3'-0" x 6'-8" x 1 3/8"	C	METAL	METAL	SEE SPECS.	3-PANEL, 45 MIN. RATED, SPRING HINGES & ACC. THRESHOLD
11	3'-0" x 6'-8" x 1 3/8"	C	WD	WD SC	SEE SPECS.	3-PANEL, MASONITE, INSTALL NEW SECURE RENT DROP BOX PER SPECS AT OLM OFFICE DOOR
12	3'-0" x 6'-8" x 1 3/8"	C	WD	WD SC	SEE SPECS.	3-PANEL, MASONITE

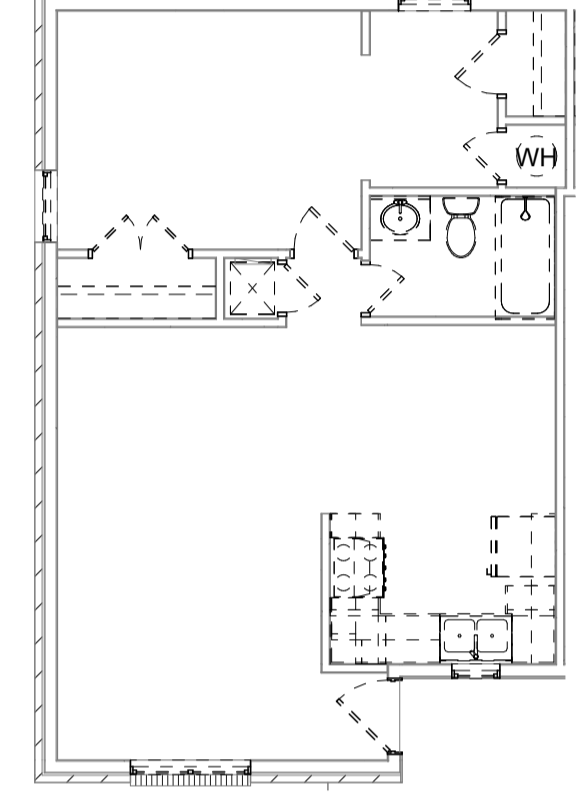


DOOR NOTES	
1)	ALL DOORS TO HAVE LEVER HANDLES.
2)	ENTRY DOORS SHALL COMPLY WITH ANSI A117.1 ACCESSIBILITY REQUIREMENTS.
3)	PROVIDE THRESHOLD AT ALL GROUND FLOOR ENTRY DOORS WHICH ARE 1/2" HIGH MAX., 1/2 SLOPE.
4)	CONTRACTOR TO PROVIDE & INSTALL DOOR STOPS (ROUND WALL MOUNTED) @ ALL DOORS.
5)	SEE SPECS FOR DOOR HARDWARE.
6)	CAULK/SEAL ALL EXTERIOR THRESHOLDS.

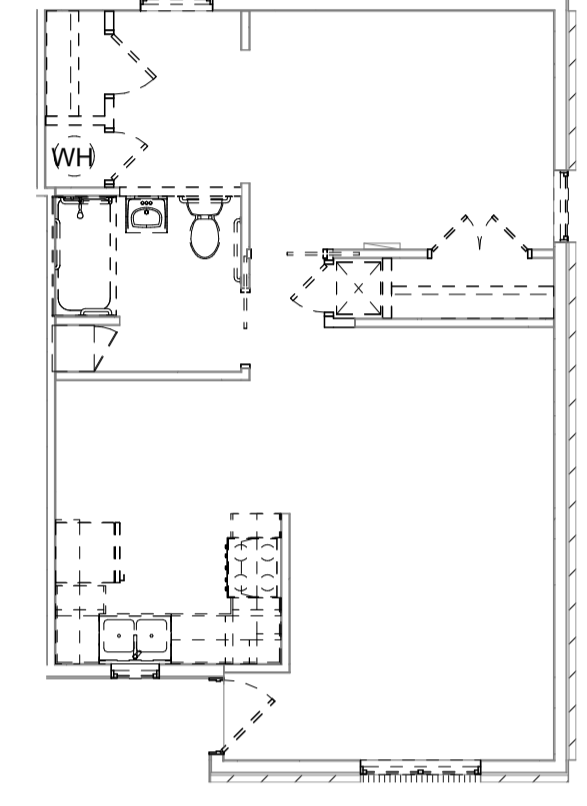
GENERAL UNIT NOTES	
1)	CONTRACTOR SHALL FURNISH & INSTALL 4" BUILDING NUMBERS FOR EACH UNIT AS REQUIRED BY CITY OR LOCAL POSTMASTER.
2)	CONTRACTOR SHALL FURNISH ONE MAILBOX PER UNIT, PER OWNER SELECTION (SEE PLANS & SPECS).
3)	CERTIFICATION OF R-38 CEILING INSULATION MUST BE POSTED IN ATTIC.
4)	COAT, LINEN AND BEDROOM CLOSETS SHALL HAVE EPOXY-COATED WIRE SHELVING.
5)	PRIME & PAINT WALLS BEHIND MILLWORK.
6)	APPROPRIATELY SIZED BLINDS SHALL BE PROVIDED & INSTALLED FOR EACH GLAZED OPENING, INCLUDING PAIRED WINDOWS (PROVIDED WITH TWO SETS) AND DOOR GLAZING WHERE HALF LITE OR LARGER.

LEGEND	
	= EXISTING WINDOWS, WALLS, PLUMBING FIXTURES, KITCHEN MILLWORK ETC.
	= EXISTING DOORS
	= WINDOWS, WALLS, PLUMBING FIXTURES, KITCHEN MILLWORK ETC. TO BE REMOVED. SEE WINDOW SCHEDULE FOR EXTENT OF WINDOW DEMOLITION REQUIRED.
	= DOORS TO BE REMOVED
	= NEW CONCRETE
	= NEW WINDOWS, PLUMBING FIXTURES, KITCHEN MILLWORK ETC.
	= NEW WALLS
	= NEW DOORS

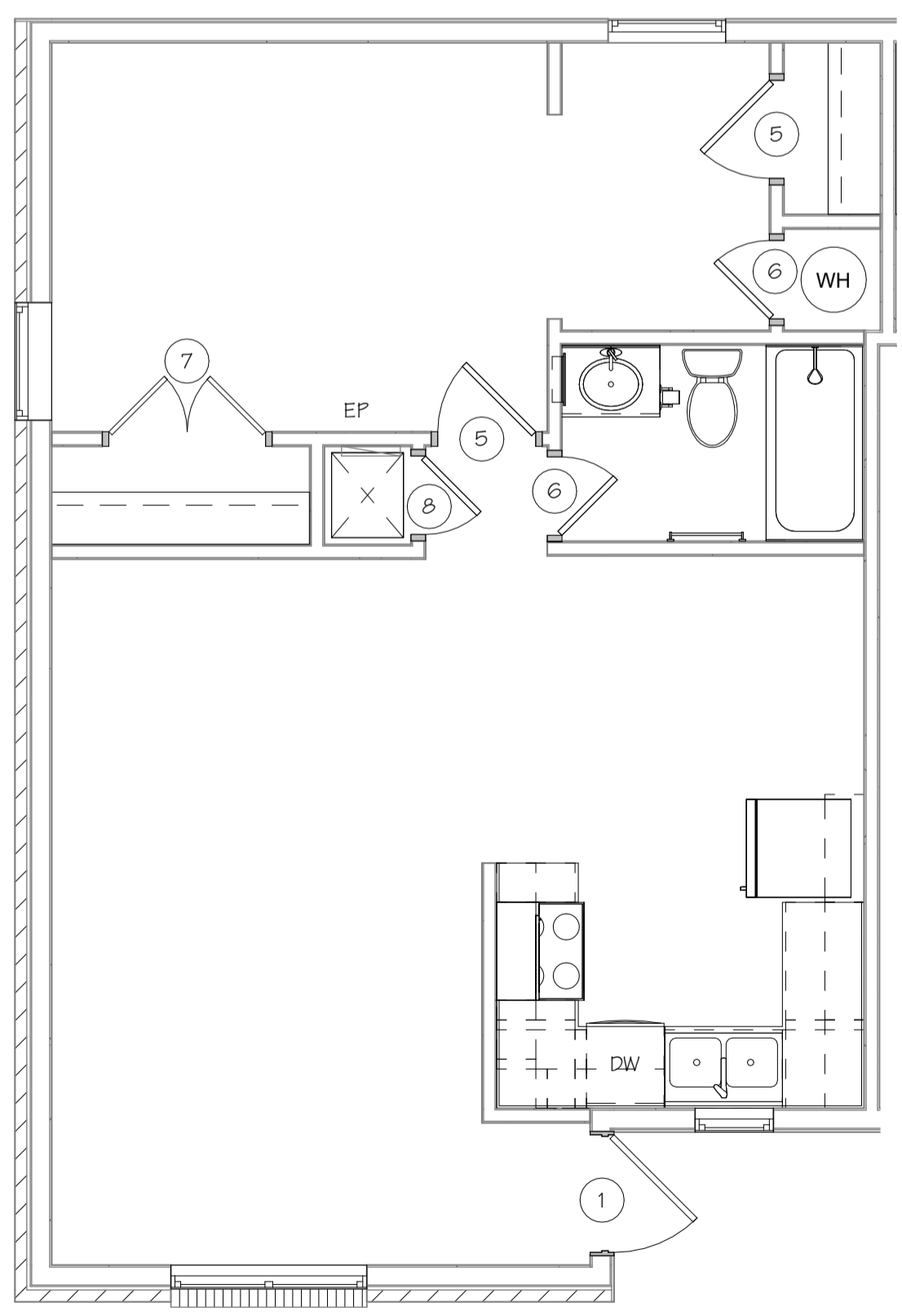
WALL TYPES	
W1	1/2" GYP. BD. (MOLD GUARD @ DAMP WALLS @ BATHROOM, KITCHEN & LAUNDRY) INSULATE BATHROOM WALL 2X4 WOOD STUDS @ 24" O.C. 4-1/2" WALL (NOT RATED)
W2	1/2" GYP. BD. (MOLD GUARD @ DAMP WALLS @ BATHROOM, KITCHEN & LAUNDRY) INSULATE BATHROOM WALL 2X4 WOOD STUDS @ 24" O.C. 4" WALL (NOT RATED)



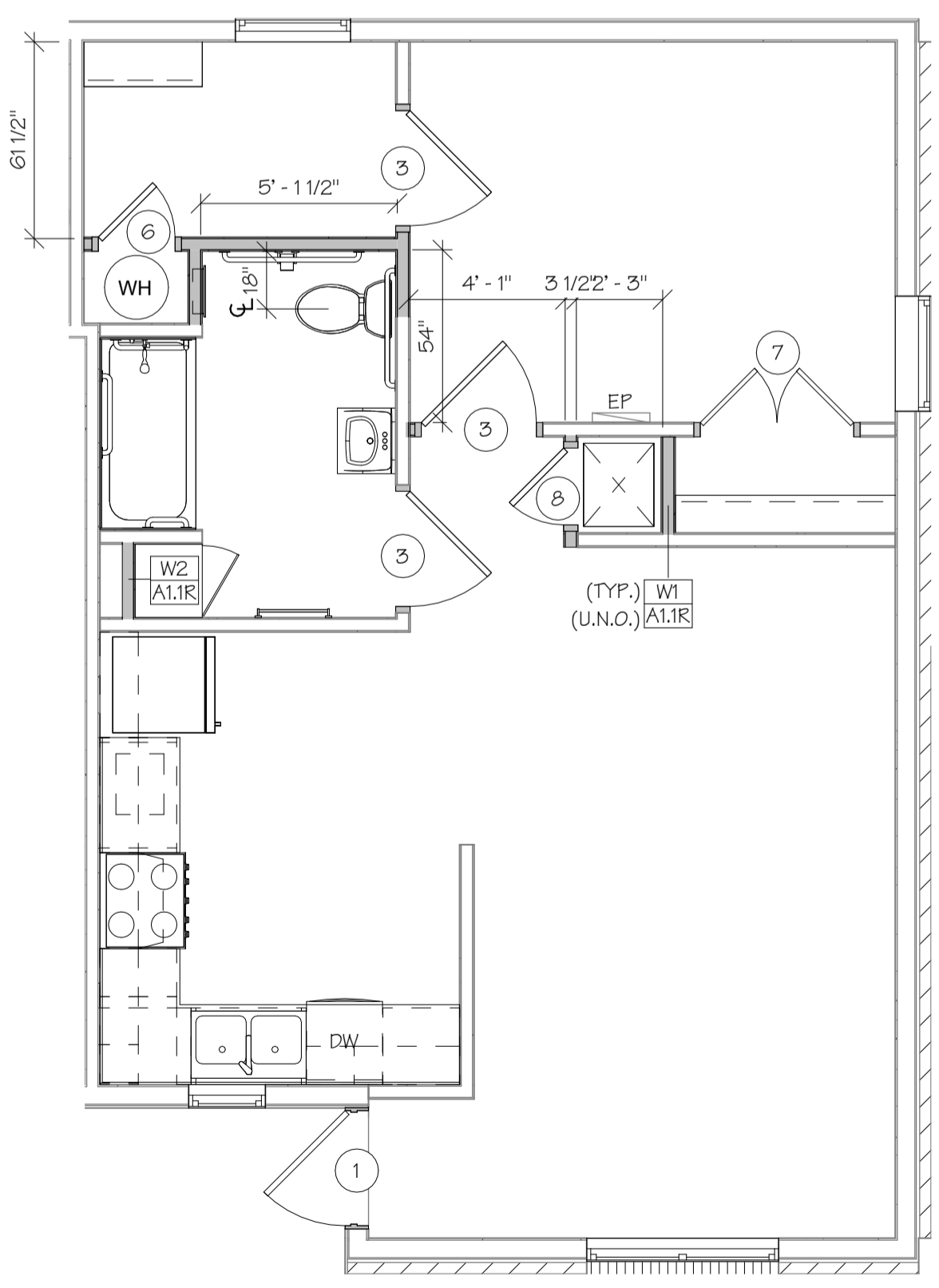
1 TYP. 1-BR DEMO PLAN
A1.1R SCALE: 1/8" = 1'-0"



2 UFAS 1-BR DEMO PLAN
A1.1R SCALE: 1/8" = 1'-0"

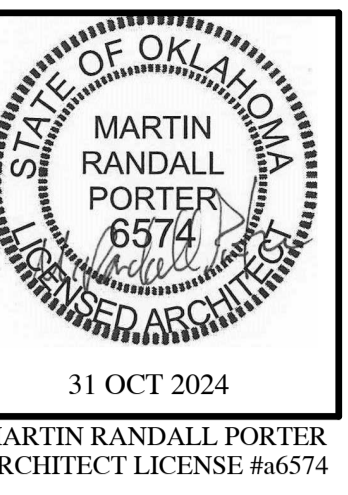


3 TYP. 1-BR UNIT PLAN
A1.1R SCALE: 1/4" = 1'-0"



4 UFAS 1-BR UNIT PLAN
A1.1R SCALE: 1/4" = 1'-0"

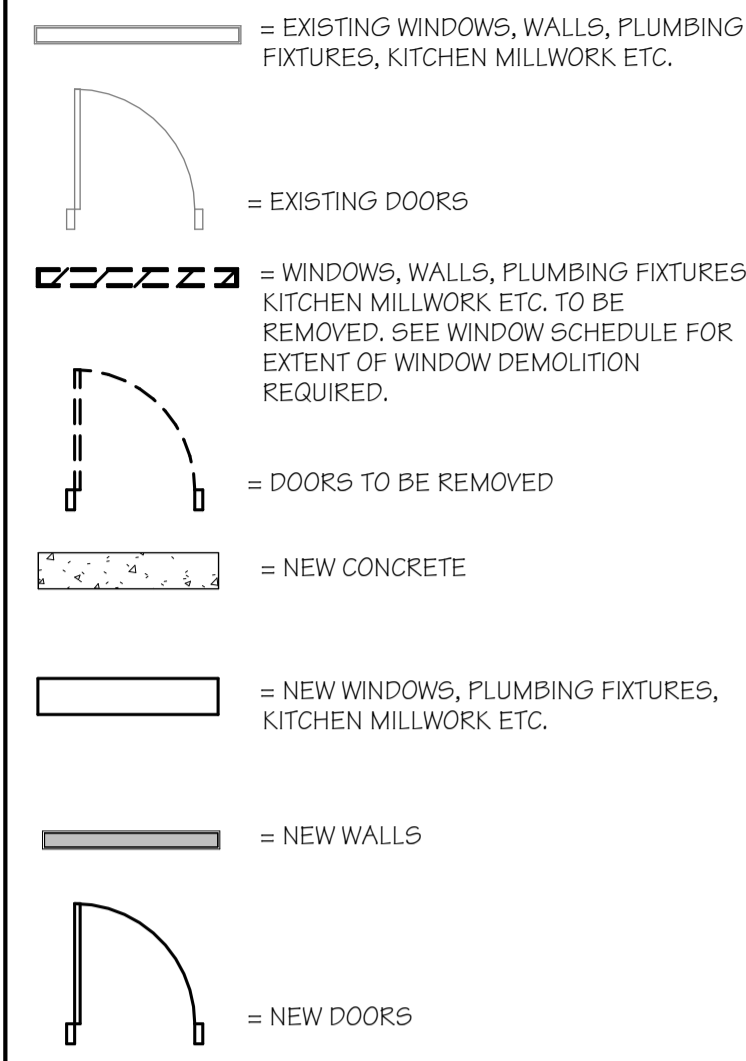
ISSUE SET



UNIT INTERIOR KEYNOTES

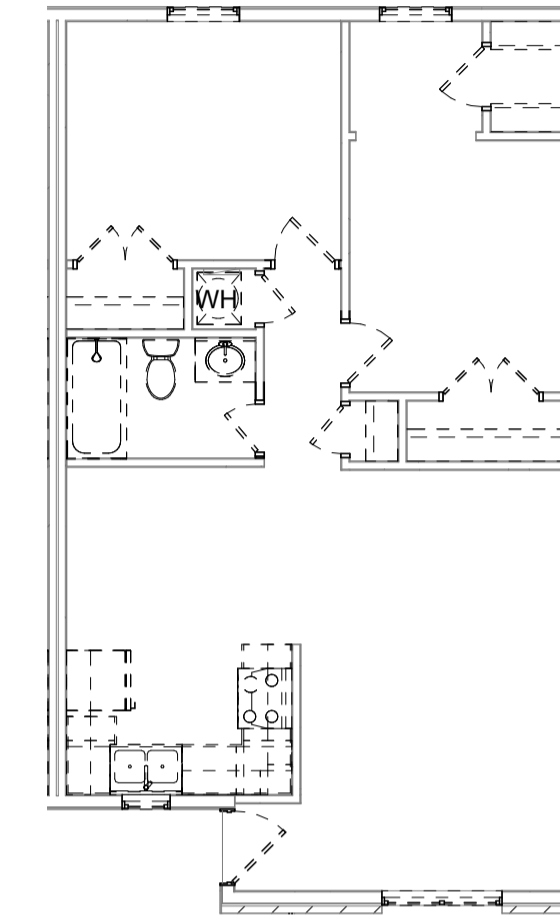
- U1 PROVIDE UFAS APARTMENT(S) (5% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATIONS
- U2 PROVIDE 1 AUDIOVISUAL APARTMENT (2% OF TOTAL APTS. MIN.); SEE SITE PLAN FOR LOCATION
- U3 PROVIDE GENERAL DEMO: DOORS, TRIM, CABINETS, PLUMBING, HVAC, APPLIANCES ETC. TO INCLUDE ACCESSIBILITY CLEARANCES AT UFAS UNITS AS INDICATED ON PLANS
- U4 RE-ATTACH ANY LOOSE 2ND FLOOR DECKING AND REPLACE MOISTURE DAMAGED AREAS; FASTEN WITH UNDERLAYMENT SCREWS
- U5 AT ALL UFAS UNITS INSTALL SOLID 2X8 MIN. WOOD BLOCKING AND GRAB BARS AT TOILETS PER INTERIOR ELEVATIONS
- U6 PROVIDE DRYWALL PATCHING AND REPAIRS AS NEEDED, INSTALL NEW DRYWALL AT NEW WALLS PER UNIT PLANS; PROVIDE FINISH/TEXTURE PER FINISH SCHEDULE(S)
- U7 REMOVE EXISTING AND INSTALL NEW 3-PANEL INTERIOR DOORS PER DOOR SCHEDULE; AT UFAS UNITS, PROVIDE ACCESSIBLE THRESHOLDS AND ACCESSIBILITY CLEARANCES AS REQUIRED
- U8 REMOVE EXISTING AND INSTALL NEW KITCHEN CABINETS (BASE, UPPER AND P-LAM COUNTERTOP) AS INDICATED ON PLANS; INSTALL ACCESSIBLE CABINETS IN UFAS UNIT(S), LIP OF SINK TO BE 34" MAX. A.F.F.
- U9 REMOVE EXISTING AND INSTALL NEW BATHROOM VANITY CABINETS (BASE & P-LAM COUNTERTOP) AS INDICATED ON PLANS. INSTALL NEW ACCESSIBLE APRON-STYLE VANITY WITH DROP-IN SINK/WALL HUNG LAVATORY AT UFAS UNIT(S)
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- U13 VERIFY EQUIVALENT R-VALUE OF EXISTING ATTIC INSULATION. PROVIDE BLOWN-IN CELLULOSE INSULATION TO ACHIEVE AN R-38 RATING IN THE ATTICS OF ALL BUILDINGS
- U14 PROVIDE PRIMER & PAINTING AT ALL INTERIOR WALLS, CEILINGS, DOORS (ALL 6 SIDES) AND TRIM (LOW VOC) ONE COLOR/ONE SHEEN SELECTED BY OWNER
- U15 SCRAPE/REMOVE EXISTING "POPCORN" CEILING TEXTURE THROUGHOUT ALL UNITS AND REPLACE WITH NEW "KNOCKDOWN" TEXTURE PER FINISH SCHEDULE
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- U19 REMOVE EXISTING AND INSTALL NEW VANITY MIRRORS, RECESSED MEDICINE CABINETS, (24" MIN.) TOWEL BARS, TOWEL RINGS, SHOWER RODS, AND WALL-MOUNTED TOILET PAPER HOLDERS; SEE INTERIOR ELEVATION DETAILS SHEET(S)
- U20 INSTALL NEW C-SHAPED PULL HARDWARE AT ALL KITCHEN CABINET DRAWERS AND DOORS AT UFAS UNIT(S)
- U21 INSTALL NEW ENERGY STAR CERTIFIED DISHWASHER IN ALL TYPICAL UNITS; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
- U22 REMOVE EXISTING ELECTRIC RANGE AND INSTALL NEW 30" ELECTRIC FREESTANDING RANGE. PROVIDE ANTI-TIP BRACKET AT REAR OF ALL RANGES; INSTALL ACCESSIBLE FRONT CONTROL-STYLE AT ALL UFAS UNIT(S)
- U23 REMOVE EXISTING AND INSTALL NEW FROST-FREE ENERGY STAR CERTIFIED REFRIGERATOR; INSTALL ACCESSIBLE CONTROL-STYLE AT ALL UFAS UNIT(S)
- U24 REMOVE EXISTING AND INSTALL NEW VENTED MICROHOODS AT TYPICAL UNITS; INSTALL VENTED RANGEHOOD AND COUNTERTOP ACCESSIBLE MICROWAVE AT UFAS UNIT(S)

LEGEND

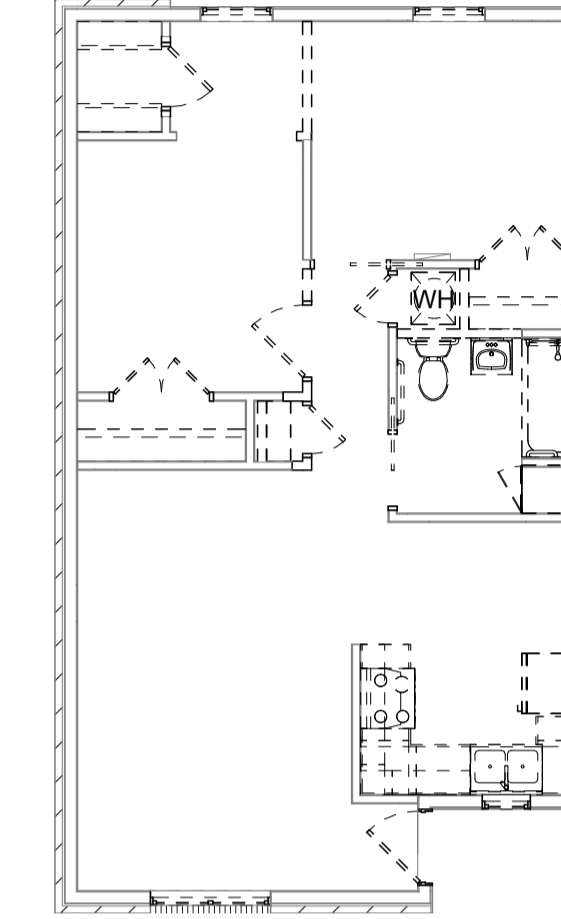


SEE SHEET A1.1R FOR DOOR SCHEDULE, NOTES & DETAILS.

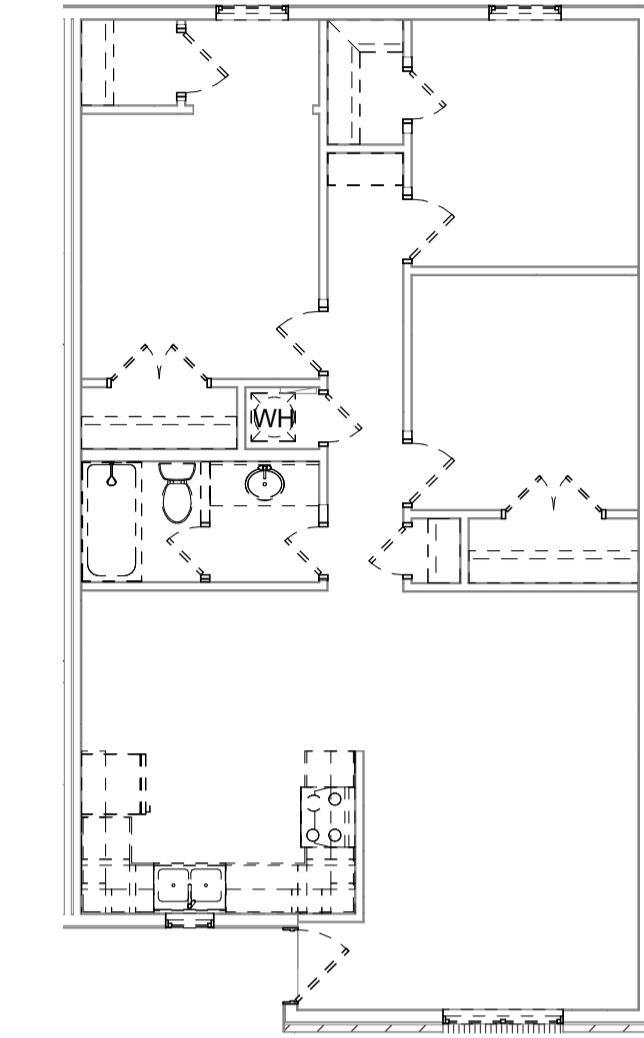
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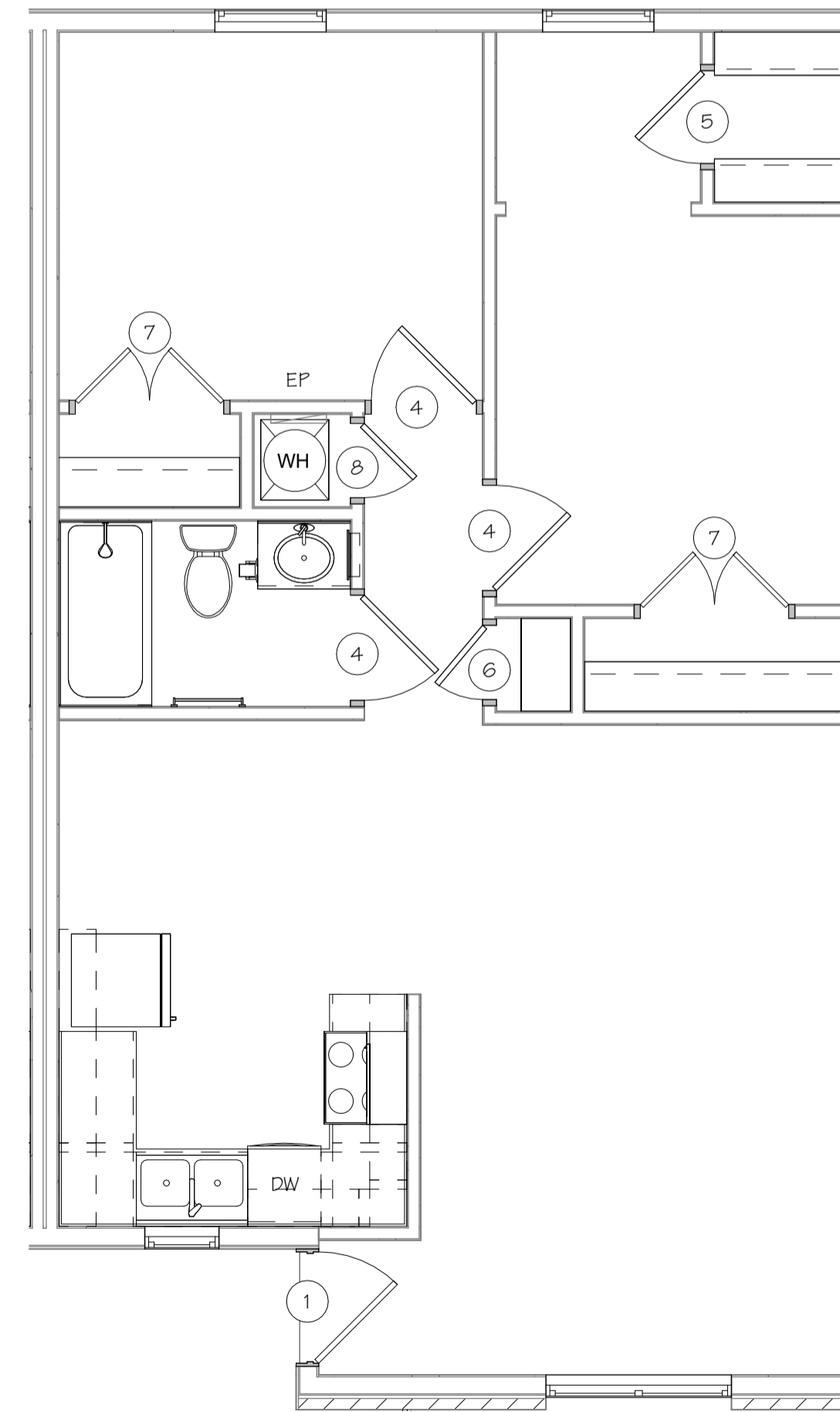
1 TYP. 2-BR DEMO PLAN
 A1.2R SCALE: 1/8" = 1'-0"



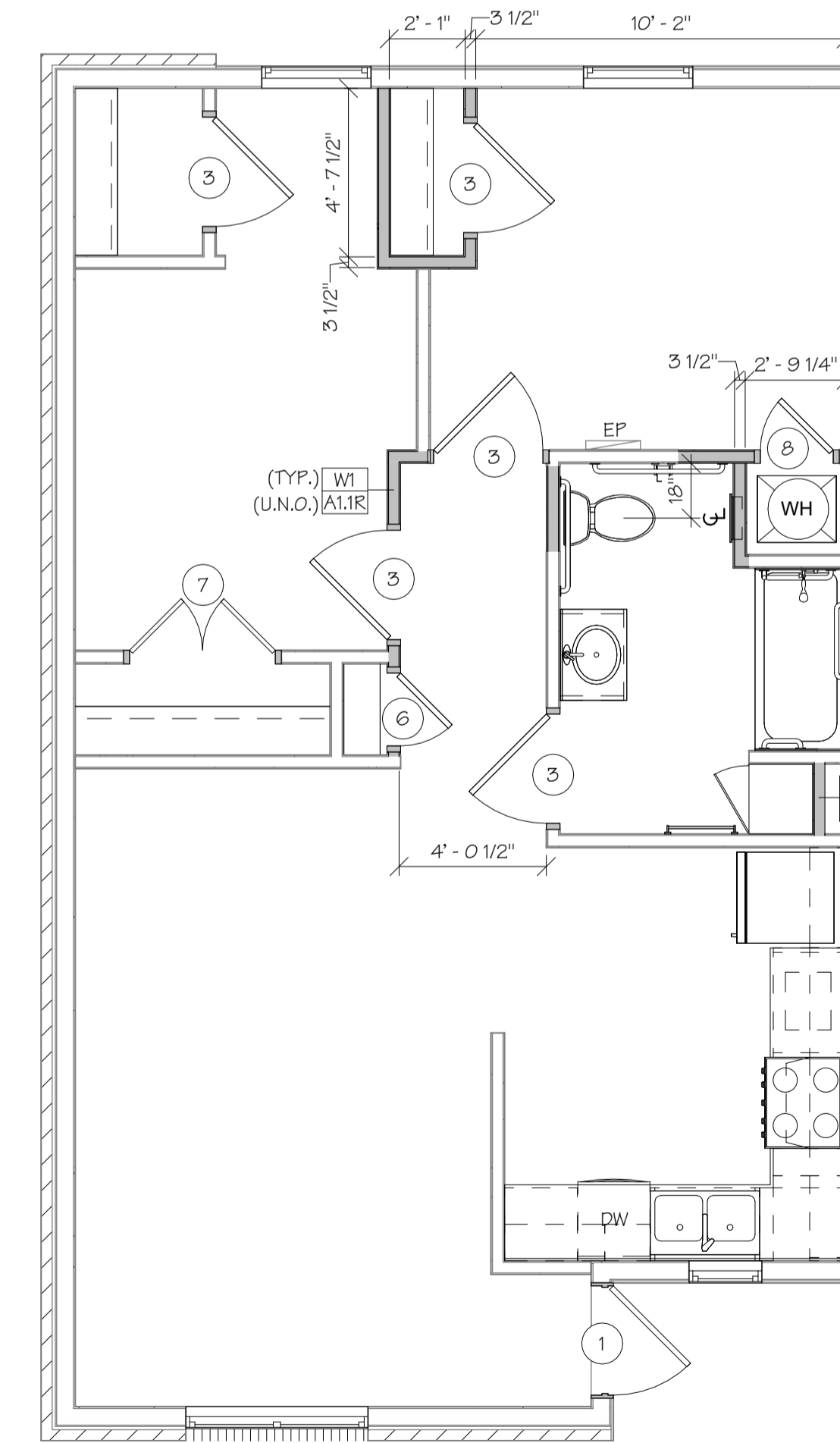
2 UFAS 2-BR DEMO PLAN
 A1.2R SCALE: 1/8" = 1'-0"



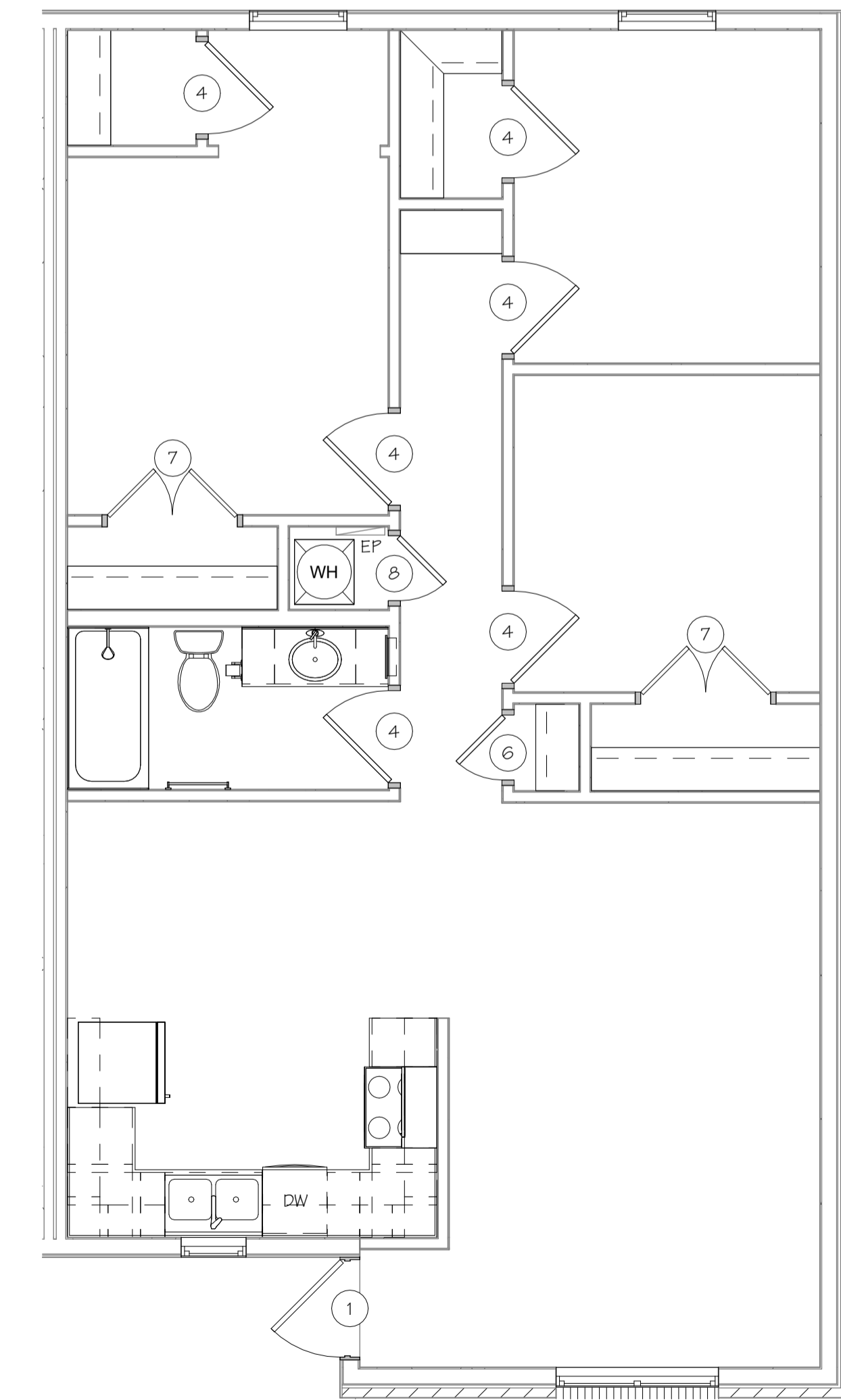
3 TYP. 3-BR-A DEMO PLAN
 A1.2R SCALE: 1/8" = 1'-0"



4 TYP. 2-BR UNIT PLAN
 A1.2R SCALE: 1/4" = 1'-0"



5 UFAS 2-BR UNIT PLAN
 A1.2R SCALE: 1/4" = 1'-0"



6 TYP. 3-BR-A UNIT PLAN
 A1.2R SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
 CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
 ARCHITECTS LLC
 Columbia, MO
 P. 573-256-7200

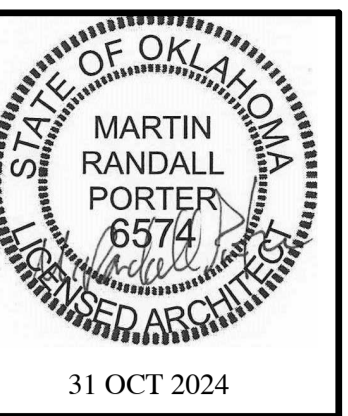
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SHEET NO.
A1.2R

JOB NO.
 4780

ISSUE SET



MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

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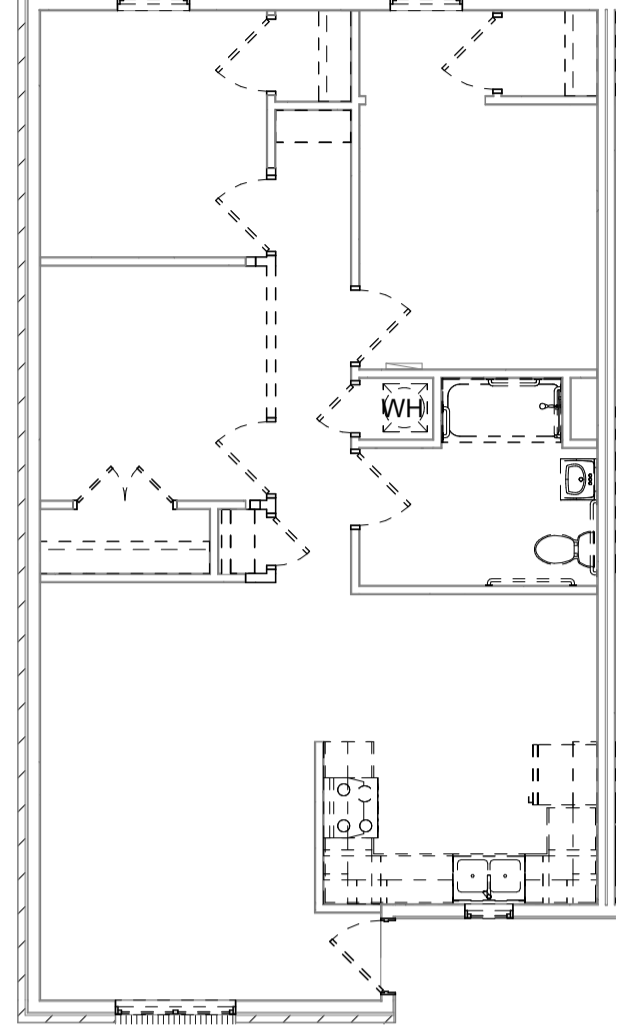
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JOB NO. 4780

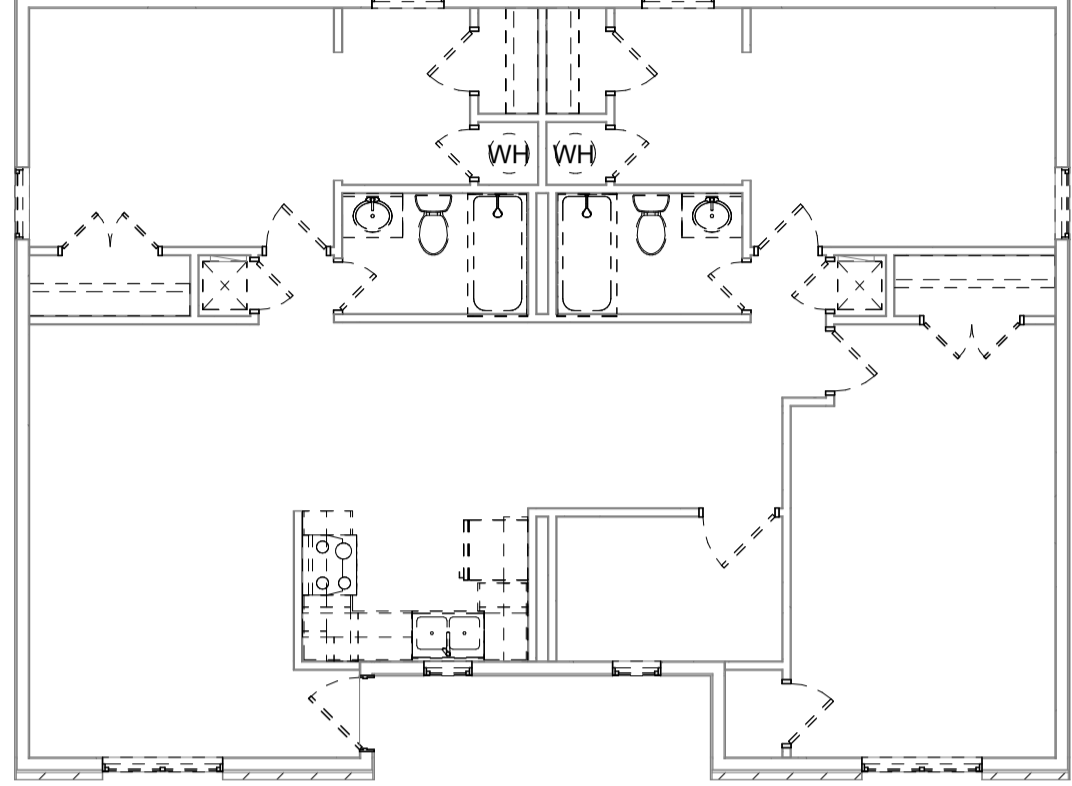
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NOTES:
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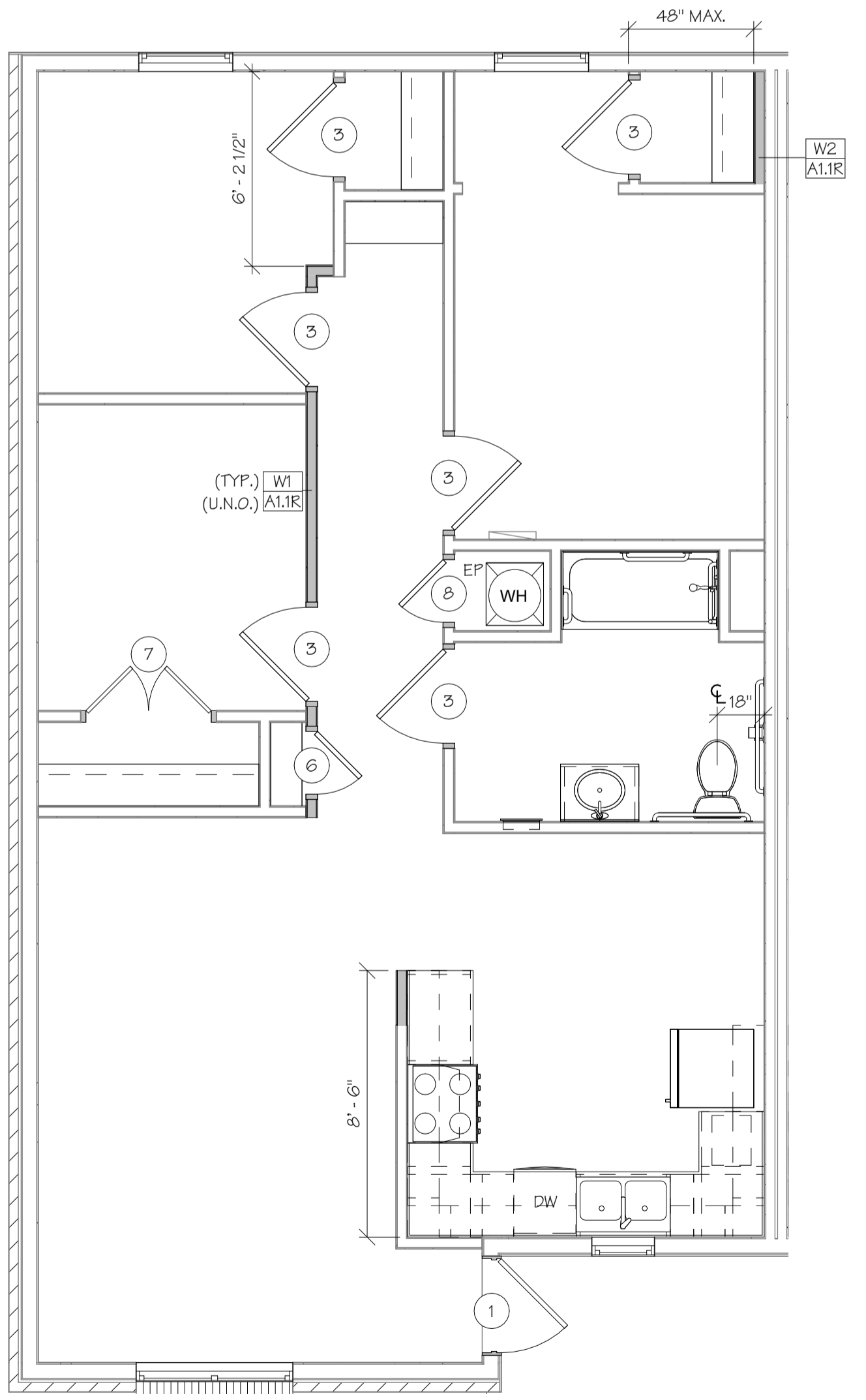
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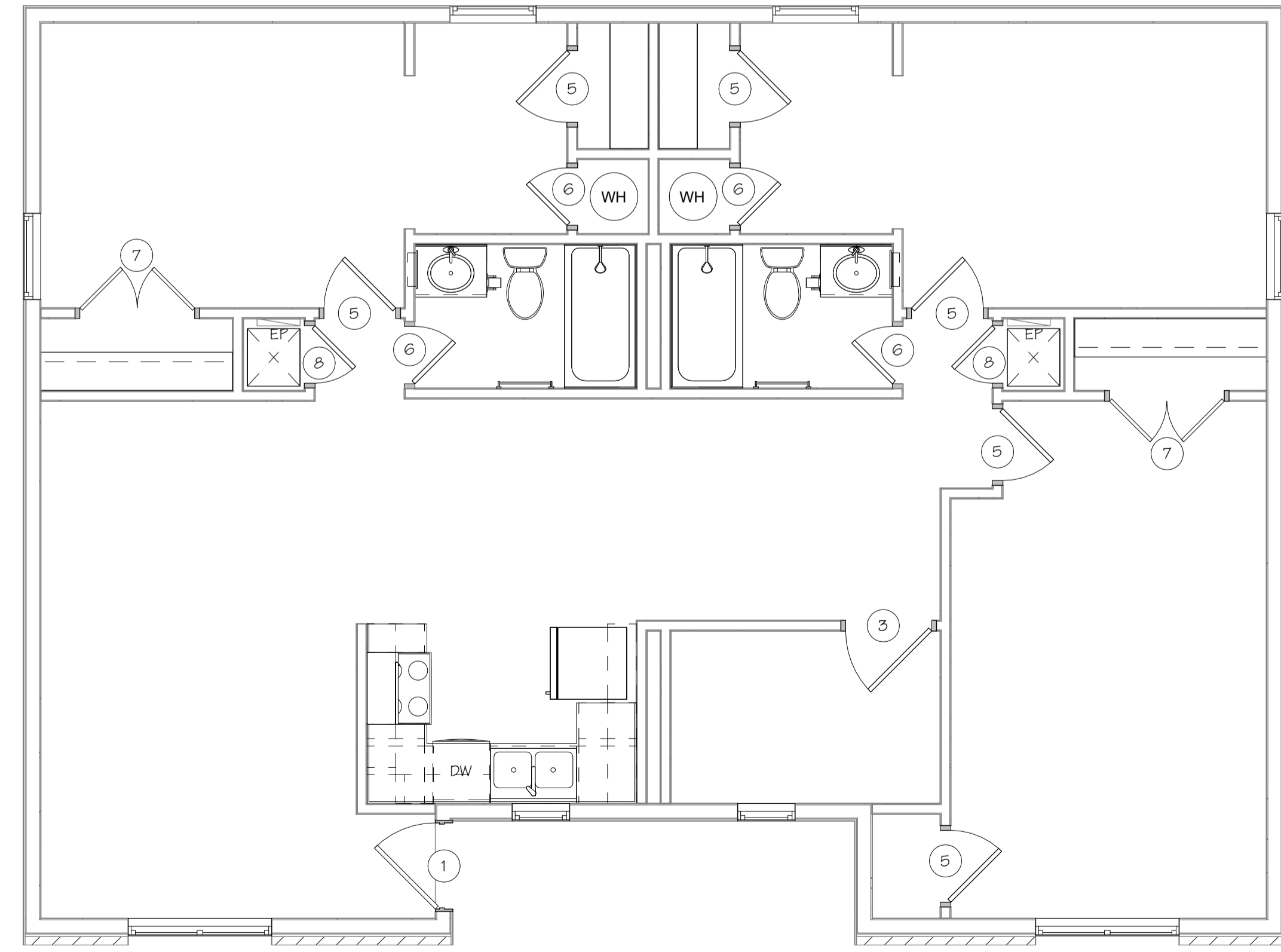
UFAS 3-BR DEMO PLAN
SCALE: 1/8" = 1'-0"



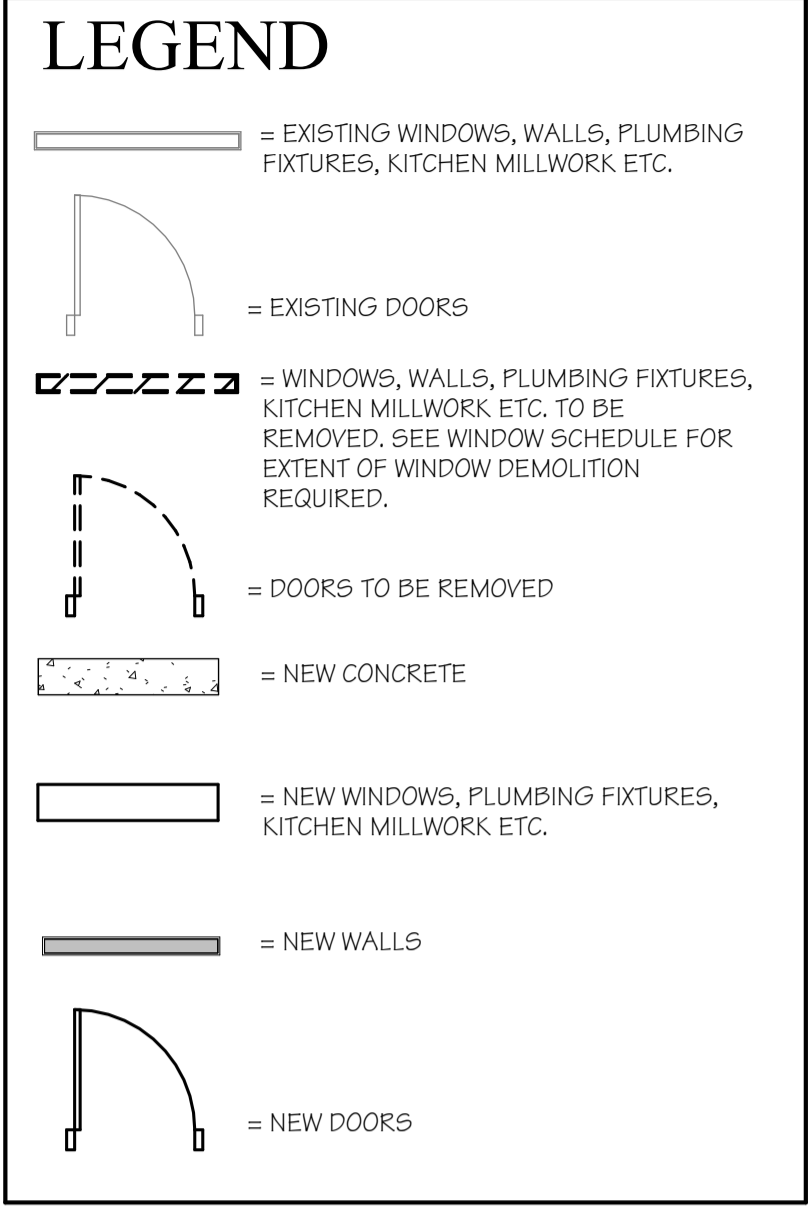
TYP. 3-BR-B DEMO PLAN
SCALE: 1/8" = 1'-0"



UFAS 3-BR UNIT PLAN
SCALE: 1/4" = 1'-0"



TYP. 3-BR-B UNIT PLAN
SCALE: 1/4" = 1'-0"



SEE SHEET A1.1R FOR DOOR SCHEDULE, NOTES & DETAILS.

UNIT INTERIOR KEYNOTES

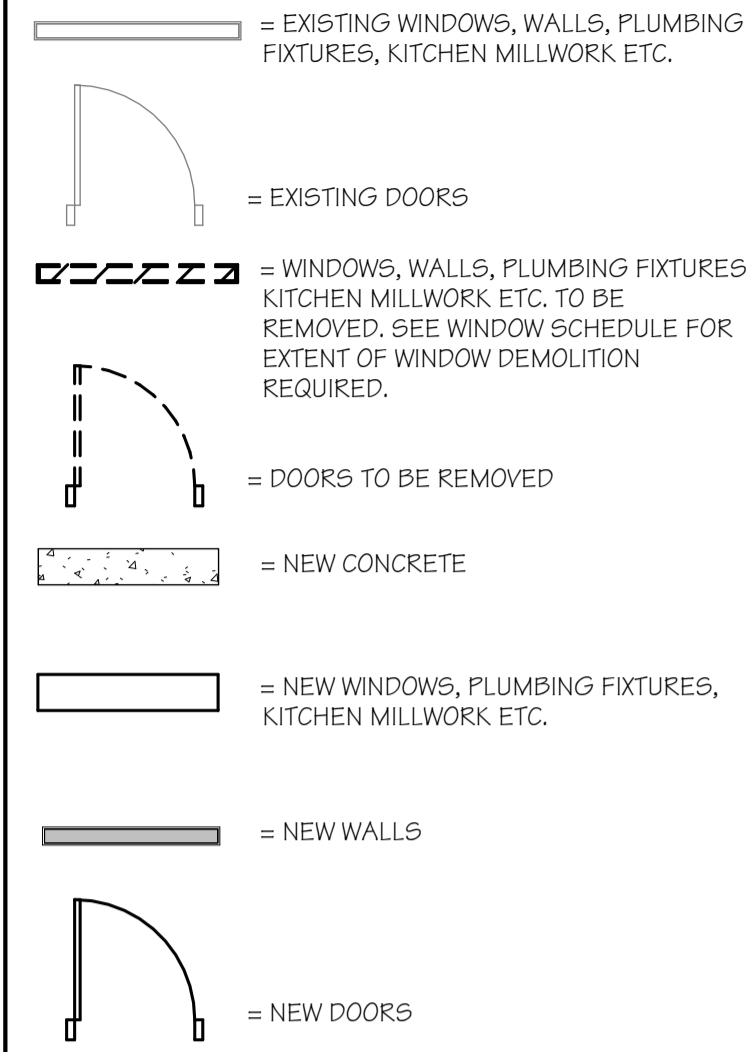
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ISSUE SET

OLM BUILDING KEYNOTES

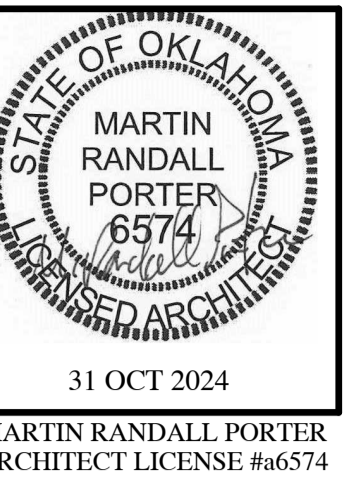
- OLM1 PROVIDE GENERAL DEMO: DOORS, TRIM, CABINETS, PLUMBING, HVAC, APPLIANCES, ETC. TO INCLUDE ACCESSIBILITY MODIFICATIONS AS INDICATED
- OLM2 PROVIDE CONCRETE DEMO AS REQUIRED FOR PLUMBING FIXTURE RELOCATION AS INDICATED ON UNIT PLAN(S)
- OLM3 COMPLETE ALL TRADEWORK FOR (2) READY TO USE RESTROOMS PER 2010 ADA REQUIREMENTS
- OLM4 INSTALL SOLID 2x8 MIN. WOOD BLOCKING AND GRAB BARS AT TOILET(S) PER INTERIOR ELEVATIONS
- OLM5 PROVIDE DRYWALL PATCHING AND REPAIRS AS NEEDED, INSTALL NEW DRYWALL AT NEW WALLS PER PLANS; PROVIDE FINISH PER TEXTURE/FINISH SCHEDULE(S)
- OLM6 PROVIDE PRIMER & PAINTING AT ALL INTERIOR WALLS, CEILING(S), DOORS (ALL 6 SIDES) AND TRIM (LOW VOC) ONE COLOR/ONE SHEEN SELECTED BY OWNER
- OLM7 REMOVE EXISTING AND INSTALL NEW 3-PANEL INTERIOR DOORS PER DOOR SCHEDULE; PROVIDE ACCESSIBLE THRESHOLD AND ACCESSIBILITY CLEARANCES AS REQUIRED
- OLM8 REMOVE EXISTING AND INSTALL NEW LUXURY VINYL PLANK FLOORING PER FINISH SCHEDULE (LOW VOC) PATTERN & COLOR SELECTED BY OWNER
- OLM9 REMOVE EXISTING AND INSTALL NEW EXTERIOR DOORS, INCLUDING FRAME AND HARDWARE PER DOOR SCHEDULE
- OLM10 INSTALL NEW PERMANENT ACCESSIBLE WORK COUNTER(S) IN LAUNDRY ROOM PER INTERIOR ELEVATION DETAILS
- OLM11 REMOVE EXISTING AND INSTALL NEW 5 1/4" PRE-PRIMED PINE BASE TRIM PER FINISH SCHEDULE
- OLM12 REMOVE EXISTING AND INSTALL NEW COMPOSITE WOOD STOOLS AND PRIMED PINE WINDOW APRONS (PAINT COLOR SELECTED BY OWNER)
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- OLM17 REMOVE EXISTING AND INSTALL NEW RESTROOM ACCESSORIES PER SPECS
- OLM18 COORDINATE THE REMOVAL AND INSTALLATION OF NEW COMMERCIAL WASHERS AND DRYERS WITH COIN-OPERATED AND/OR CONTACTLESS PAYMENT SYSTEM WITH OWNERSHIP VIA THIRD-PARTY VENDOR
- OLM19 REMOVE EXISTING BUILDING/ROOM SIGNAGE AND INSTALL NEW SIGNAGE PACKAGE PER SPECS
- OLM20 SCRAPE/REMOVE EXISTING "POPCORN" CEILING TEXTURE AND REPLACE WITH NEW "KNOCKDOWN" TEXTURE PER FINISH SCHEDULE

LEGEND

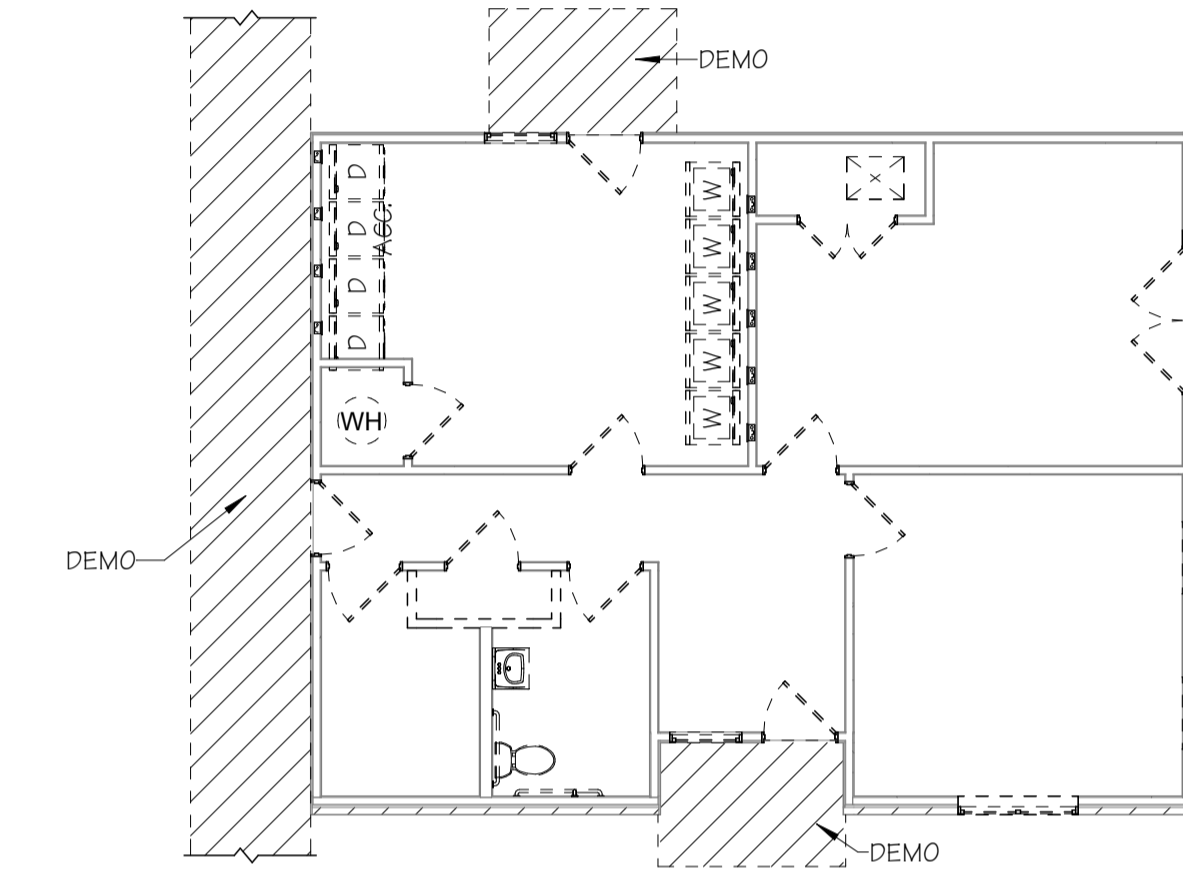


SEE SHEET A1.1R FOR DOOR SCHEDULE, NOTES & DETAILS.

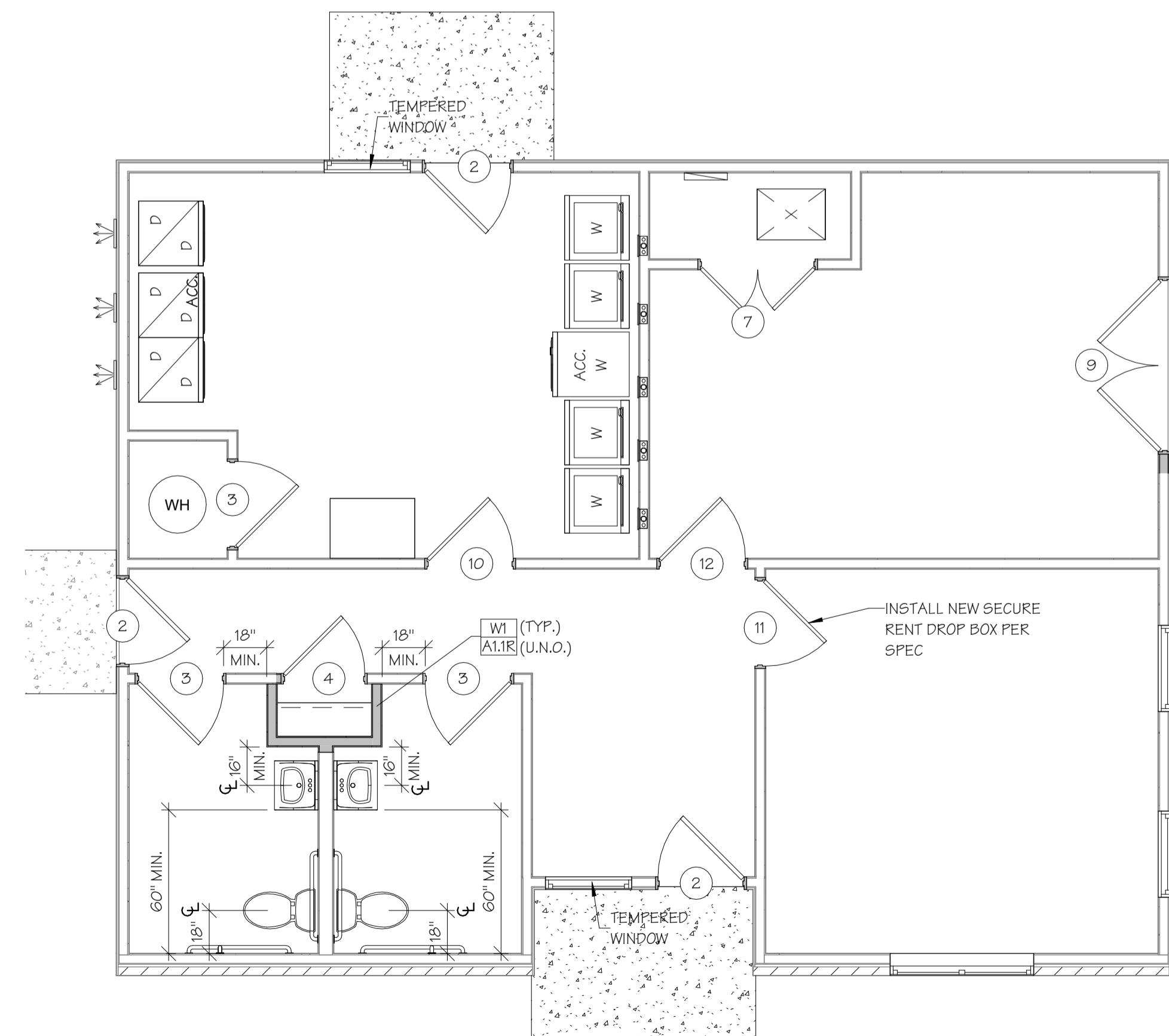
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RIVER BEND VILLAS
 CHICKASHA, GRADY COUNTY, OKLAHOMA



OFFICE/LAUNDRY/MAINT. DEMO PLAN
 SCALE: 1/8" = 1'-0"



OFFICE/LAUNDRY/MAINT. FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Wallace
 ARCHITECTS LLC
 Columbia, MO
 P 573-256-7200

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 CERTIFICATE OF AUTHORITY:
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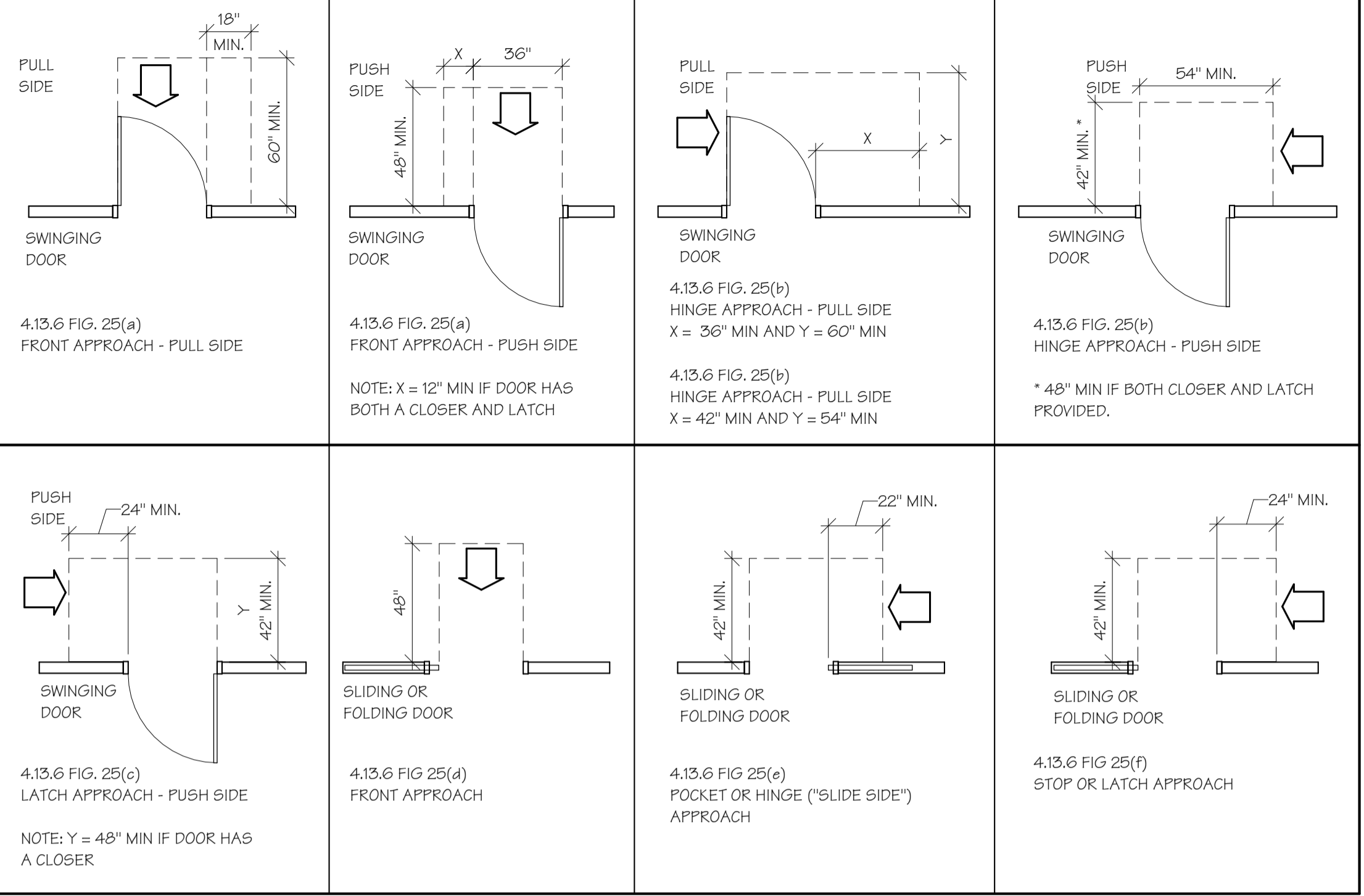
A1.4R

JOB NO.
4780

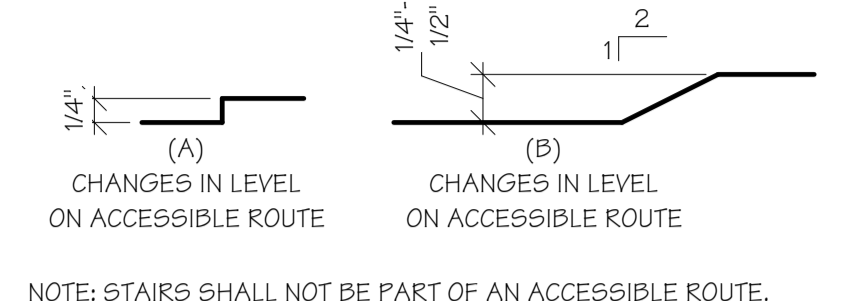
ISSUE SET

MANEUVERING CLEARANCES AT DOORS
 PER UFAS

NOTE: WHERE ANY OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE OF A DOORWAY PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR, MANEUVERING CLEARANCES FOR A FORWARD APPROACH SHALL BE PROVIDED.



CHANGES IN LEVEL ON AN ACCESSIBLE ROUTE



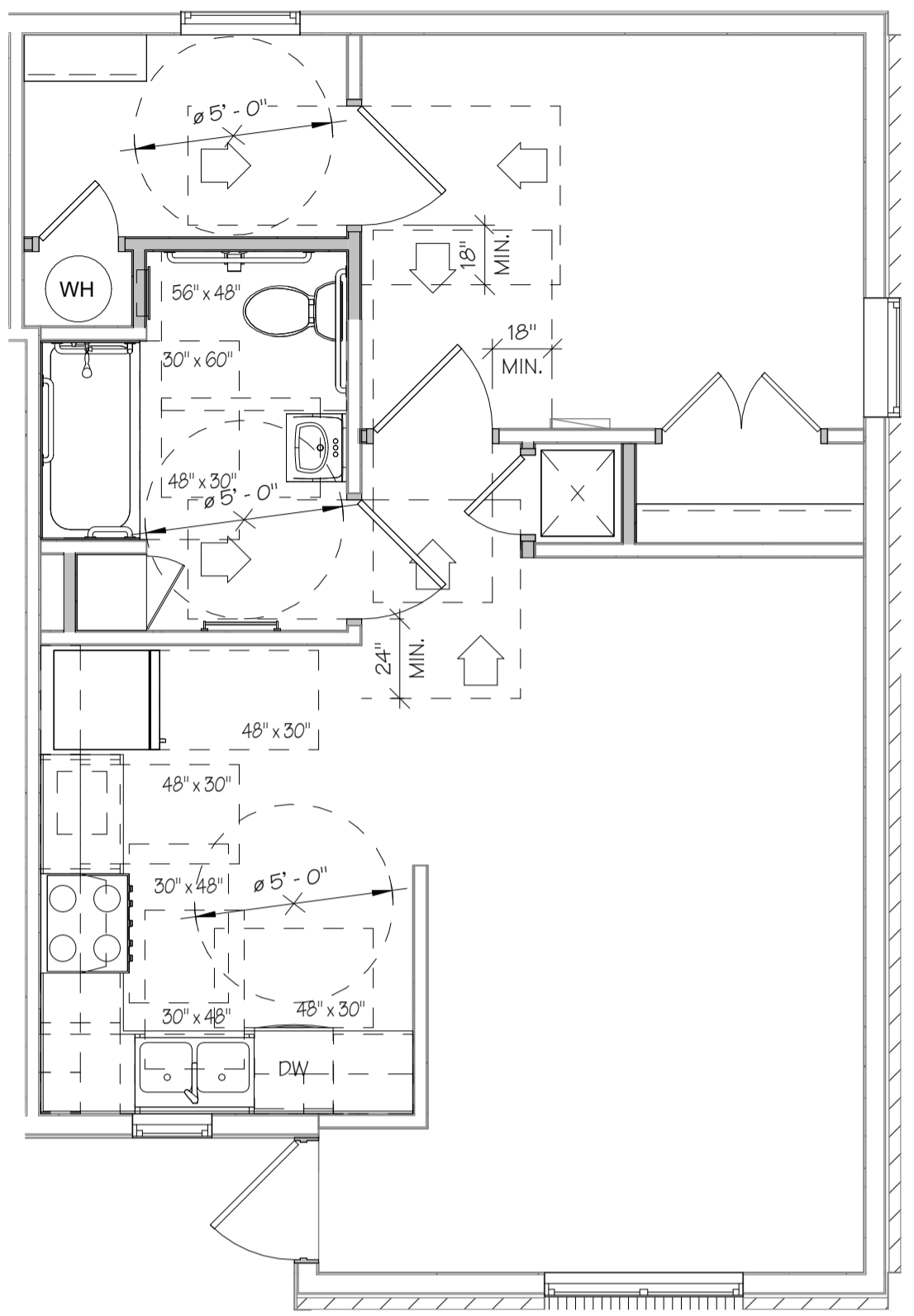
ACCESSIBLE UNIT KITCHEN NOTES

- COUNTER HEIGHT SHALL BE 34" A.F.F. TO TOP OF SINK.
- EXTEND FINISHED FLOORING BENEATH SINK SPACE AND THE 30" WORKSPACE BESIDE THE RANGE.
- TOE KICK SPACE @ BOTTOM OF BASE CABINETS SHALL REMAIN 4" MIN. (STANDARD)
- ADD SEPARATE WALL SWITCHES FOR RANGE HOOD FAN AND RANGE HOOD LIGHT (SEE ELECTRICAL PLANS) 39" A.F.F. TO BOTTOM OF SWITCH PLATE
- TOP OF WALL TELEPHONE TO BE 48" MAX. A.F.F.
- SWITCHES & OUTLETS IN KITCHEN ABOVE BASE CABINETS SHALL BE 39" A.F.F. TO BOTTOM OF SWITCH PLATE, SO AS NOT INTERFERE WITH WALL CABINET.
- INSULATED EXPOSED PIPING BELOW KITCHEN SINK W/ PIPE WRAP.

ACCESSIBLE UNIT BATH NOTES

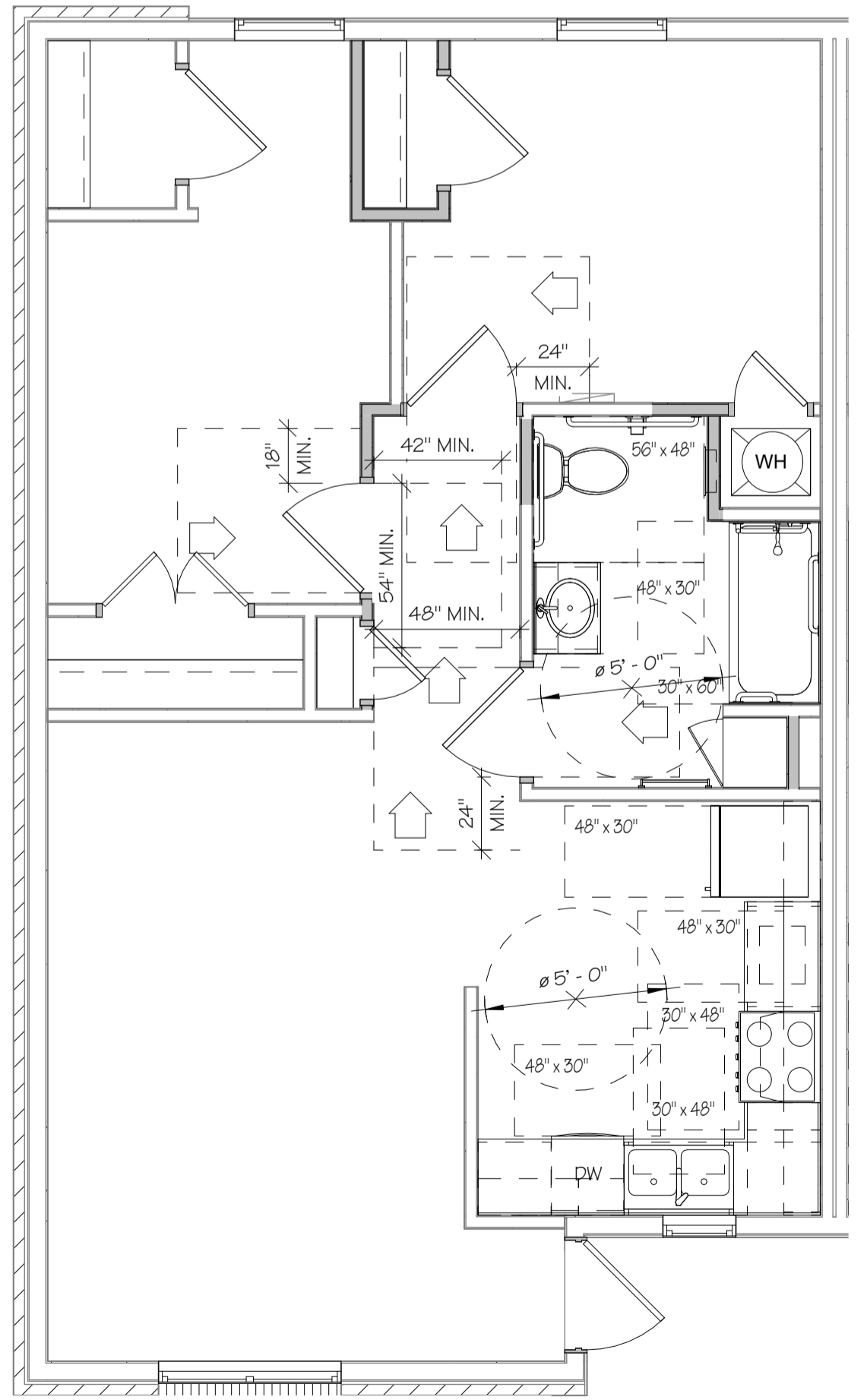
- PROVIDE HAND-HELD SHOWER W/VACUUM BREAKER (IN LIEU OF FIXED SHOWER HEAD), 60" FLEXIBLE HOSE, & 24" SLIDE BAR.
- PROVIDE WALL MOUNTED SHOWER SEAT AS PER SPECS.
- OFF-SET SHOWER VALVE CONTROL SO IT IS CENTERED 8" FROM OUTER EDGE OF TUB FOR EASIER ACCESS, & 26" A.F.F. (LEVER TYPE CONTROL).
- INSTALL GRAB BARS WITH ROUND HEAD SCREWS.
- PROVIDE & INSTALL 36" GRAB BAR BEHIND @ 42" GRAB BAR BESIDE WATER CLOSET ON WALL @ 34" A.F.F. (SEE BATH ELEVATIONS SHEET A7.0)
- BOTTOM OF MIRROR TO REST ON COUNTERTOP BACKSPASH.
- VANITY SINK FAUCET TO BE LEVER TYPE, & EXPOSED PIPING TO BE WRAPPED W/ PIPE WRAP.
- EXTEND FINISHED FLOORING BENEATH LAV. SPACE.

NOTES:
 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS.
 MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT



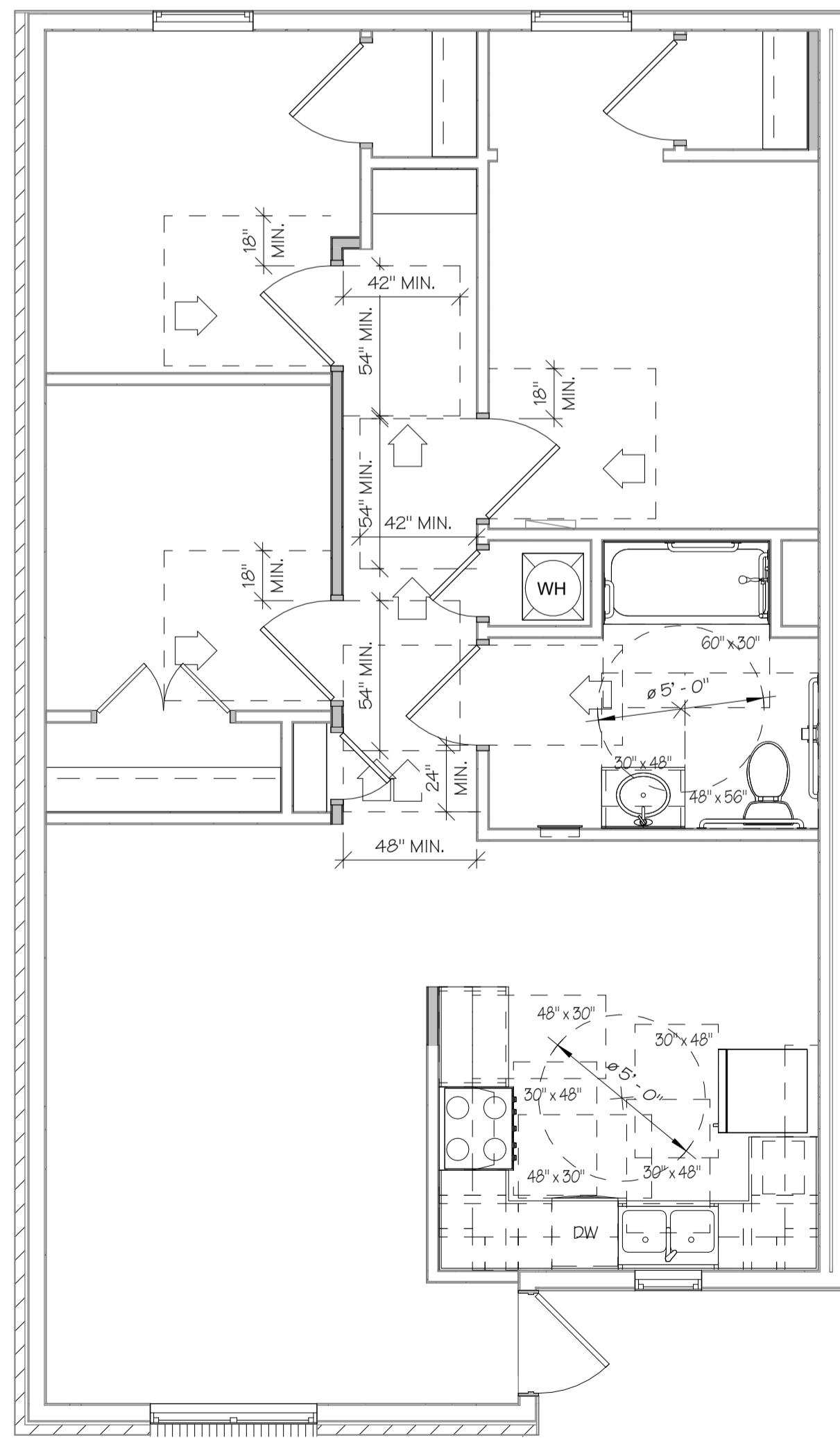
UFAS 1-BR MANEUVERING CLEARANCE PLAN

SCALE: 1/4" = 1'-0"



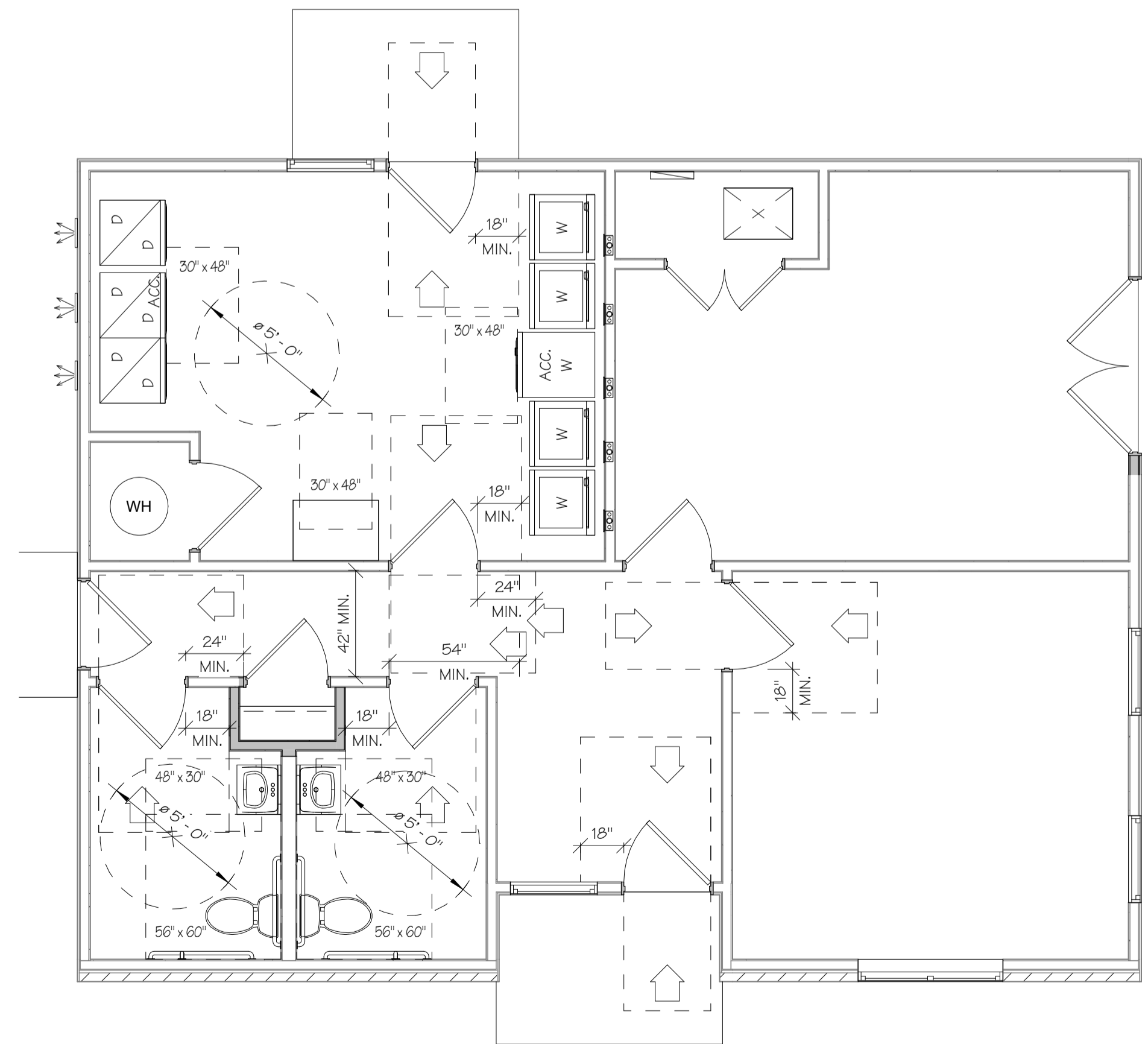
UFAS 2-BR MANEUVERING CLEARANCE PLAN

SCALE: 1/4" = 1'-0"



UFAS 3-BR MANEUVERING CLEARANCE PLAN

SCALE: 1/4" = 1'-0"



OFFICE/LAUNDRY/MAINT. MANEUVERING CLEARANCE PLAN

SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
 CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
 ARCHITECTS LLC
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SHEET NO. **A1.5R**

JOB NO. 4780

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BUILDING EXTERIOR KEYNOTES

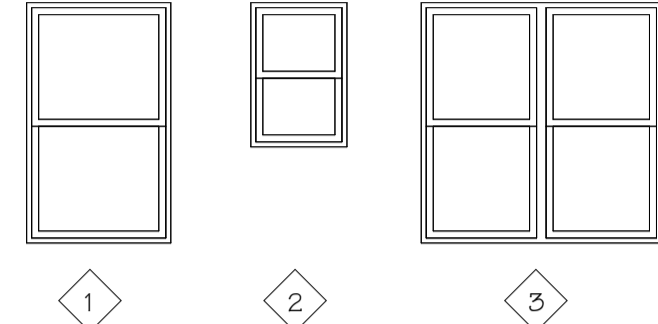
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- X2 REMOVE EXISTING AND INSTALL NEW WINDOWS WITH LOW "E" INSULATED GLAZING PER WINDOW SCHEDULE, INCLUDE SCREENS. WINDOWS MUST BE COMPLIANT WITH EMERGENCY EGRESS REGULATIONS AT BEDROOMS, INSTALL PAN FLASHING AT ALL NEW WINDOWS
- X3 REMOVE EXISTING AND INSTALL NEW WEATHER BARRIER AND FIBER CEMENT SIDING PER EXTERIOR ELEVATIONS (COLOR SELECTED BY OWNER); REMOVE AND REPLACE ALL WATER/INSECT DAMAGED WALL SHEATHING / FASCIA / SOFFIT / TRIM (CONTRACTOR TO CARRY ALLOWANCE OF 10% FOR REPLACEMENT)
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- X6 REMOVE EXISTING AND INSTALL NEW 30 YR. ARCHITECTURAL SHINGLES, 15# FELT PAPER AND NEW RIDGE VENT(S) (COLOR SELECTED BY OWNER); DURING ROOF REPLACEMENT REMOVE ANY DAMAGED ROOF SHEATHING AND INSTALL NEW OSB ROOF SHEATHING (CONTRACTOR TO CARRY ALLOWANCE TO REPLACE 10% OF EXISTING ROOF SHEATHING, ANY ADDITIONAL ROOF SHEATHING REPLACEMENT WILL BE HANDLED VIA CHANGE ORDER)
- X7 DURING ROOFING REPLACEMENT REMOVE AND REPLACE ALL VENT CAPS, BOOTS, AND METAL FLASHINGS
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- X11 EXISTING STEEL STAIRS TO REMAIN, SCRAPE EXISTING PAINT, PRIME & PAINT AS NECESSARY ANY RUSTED COMPONENTS TO BE REPLACED, ANY DAMAGED PRECAST CONCRETE TREADS ARE TO BE REPLACED, CANE DETECTION TO BE INSTALLED PER PLANS
- X12 POWER WASH ALL BRICK AT EACH BUILDING
- X13 PROVIDE REPAIR, CLEANING AND TUCKPOINTING AT EXISTING BRICK VENEER
- X14 SEAL/CAULK ALL EXPANSION JOINTS, GAPS AND CRACKS AT BUILDING EXTERIORS

WINDOW SCHEDULE

NOTE: CONTRACTOR TO FIELD VERIFY WINDOW SIZES PRIOR TO PURCHASE OF NEW WINDOWS

TAG	UNIT SIZE	GLAZING	HARDWARE	REMARKS
1	3'-0" x 5'-0"	INSUL. LOW "E"; U FACTOR = 0.32, SHGC = 0.25	STANDARD	VINYL SINGLE HUNG W/ SCREEN
2	2'-0" x 3'-0"	INSUL. LOW "E"; U FACTOR = 0.32, SHGC = 0.25	STANDARD	VINYL SINGLE HUNG W/ SCREEN
3	PR. 2'-6" x 5'-0"	INSUL. LOW "E"; U FACTOR = 0.32, SHGC = 0.25	STANDARD	VINYL SINGLE HUNG W/ SCREEN

WINDOW ELEVATIONS



WINDOW NOTES

- 1) CONTRACTOR SHALL CERTIFY THAT BEDROOM WINDOWS INSTALLED PROVIDE EGRESS OPENING OF 5.0 SQ. FT. (MIN.) @ FIRST FLOOR AND 5.7 SQ. FT. (MIN.) @ 2ND FLOORS, CLEAR HEIGHT OF 24" AND MIN. CLEAR WIDTH OF 20".
- 2) GLAZING WITHIN 24" OF DOORS SHALL BE TEMPERED GLASS.
- 3) MAX. SILL HGT. @ 36" A.F.F.
- 4) INSTALL WINDOW RESTRICTORS FOR SECOND FLOOR WINDOWS.
- 5) REFER TO WALL SECTIONS FOR SPECIFIC STONE OR SIDING DETAILS AROUND WINDOW OPENINGS.
- 6) INSTALL BLINDS AT ALL WINDOWS (FULL WIDTH X FULL HEIGHT)

ATTIC COMPARTMENT VENTILATION

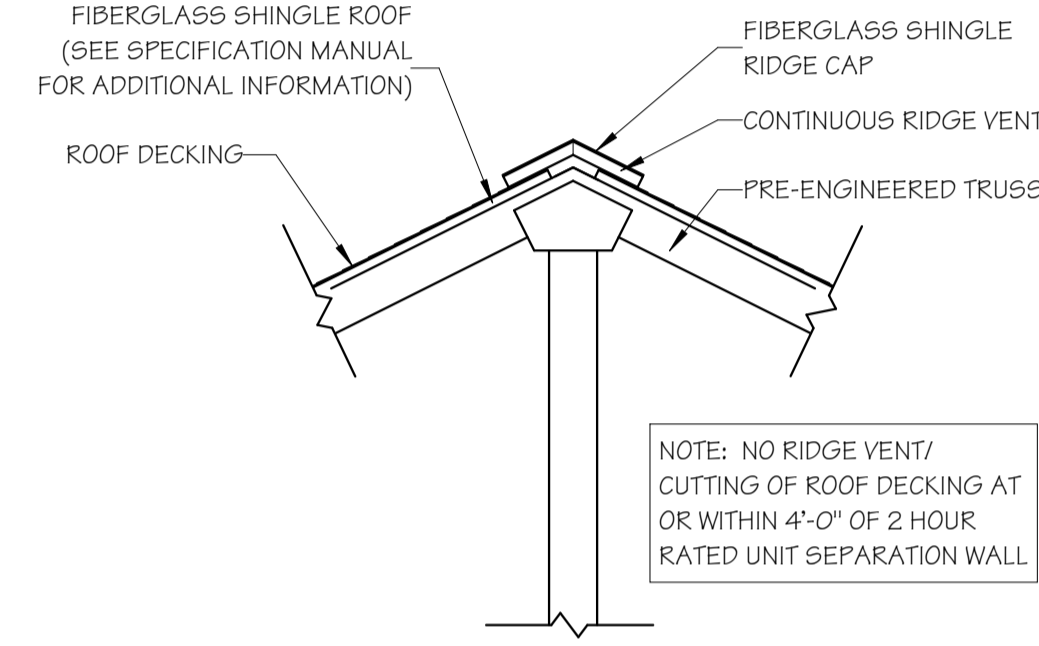
NAME	AREA	TOTAL REQ'D VENT. (SQ. IN.)	SOFFIT VENT (SQ. IN.)	ROOF VENT (SQ. IN.)	COMMENTS
BUILDING TYPE "A"					
COMPARTMENT #1	693 SF	665	332	332	(BLDG. #7)(BLDG. #8)
COMPARTMENT #2	693 SF	665	333	333	(BLDG. #7)(BLDG. #8)
BUILDING TYPE "B"					
COMPARTMENT #1	804 SF	772	386	386	(BLDG. #1/2, #3/4, #11/12, #13/14)
COMPARTMENT #2	818 SF	785	393	393	(BLDG. #1/2, #3/4, #11/12, #13/14)
COMPARTMENT #3	818 SF	785	393	393	(BLDG. #1/2, #3/4, #11/12, #13/14)
COMPARTMENT #4	804 SF	772	386	386	(BLDG. #1/2, #3/4, #11/12, #13/14)
BUILDING TYPE "C"					
COMPARTMENT #1	986 SF	947	473	473	(BLDG. #5, #6, #9, #10)
COMPARTMENT #2	986 SF	947	473	473	(BLDG. #5, #6, #9, #10)

GENERAL ATTIC VENTILATION NOTES

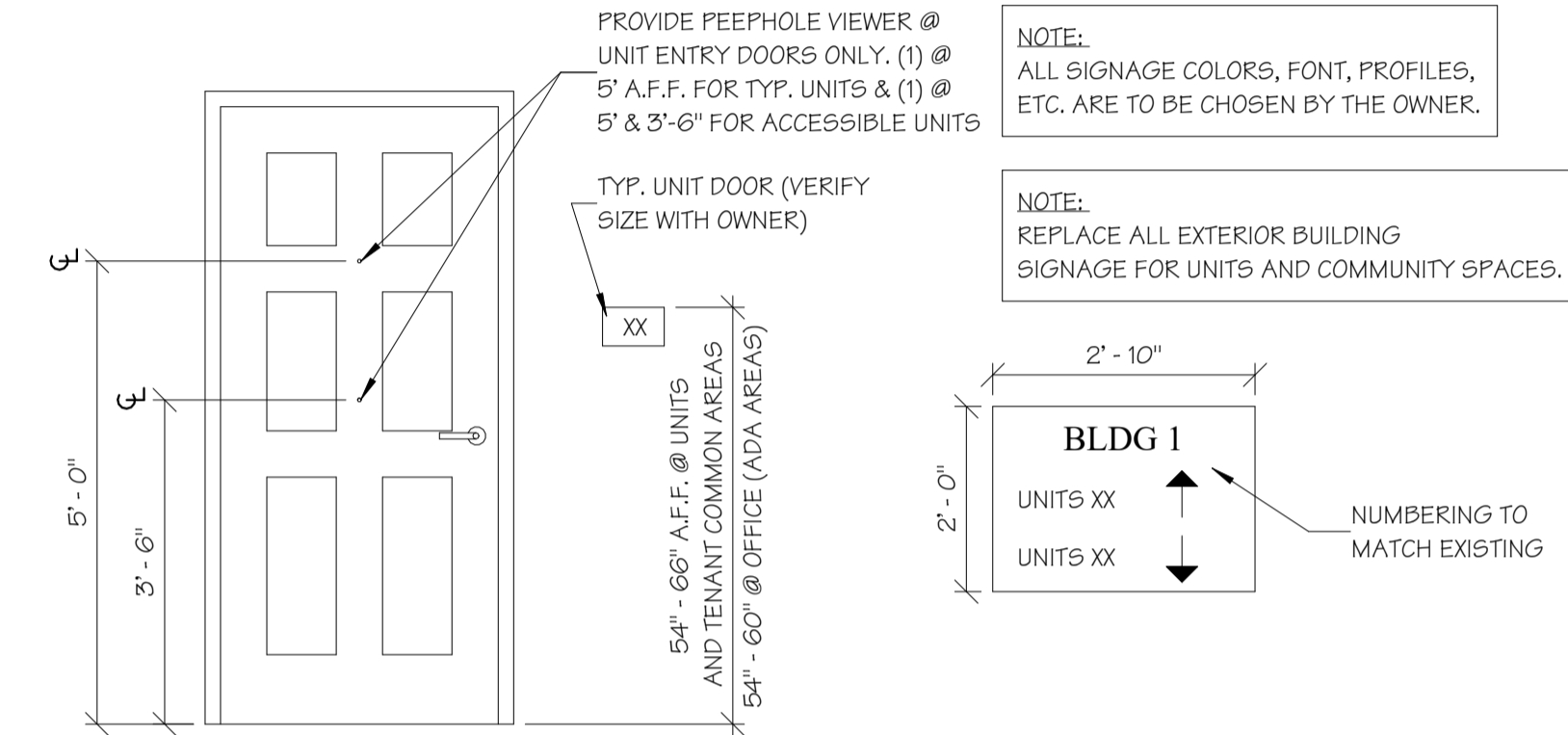
- 1) TOTAL FREE AREA SHALL EQUAL 1/300 OF ATTIC AREA & 50% OF VENT AREA WITHIN 3' OF ROOF PEAK AND 50% AT SOFFITS.
- 2) SPECIFIED RIDGE VENT LENGTHS BASED ON 18 SQ. IN. FREE AREA PER LINEAL FOOT. ADJUST VENT LENGTH AS REQUIRED BASED ON FREE AREA OF SPECIFIC VENTILATOR USED.
- 3) SPECIFIC VENTILATION POD QUANTITY BASED ON 50 SQ. IN. FREE AREA PER POD. ADJUST QUANTITY AS REQUIRED BASED ON FREE AREA OF SPECIFIC VENTILATION POD USED.

NOTES:
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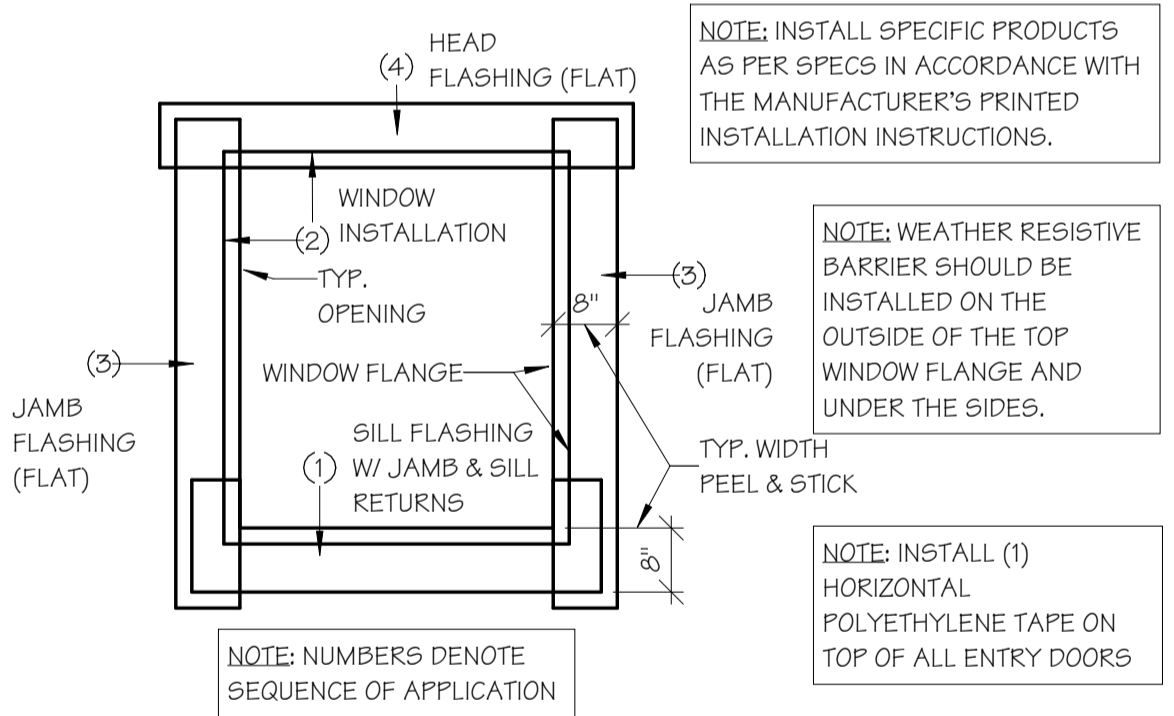
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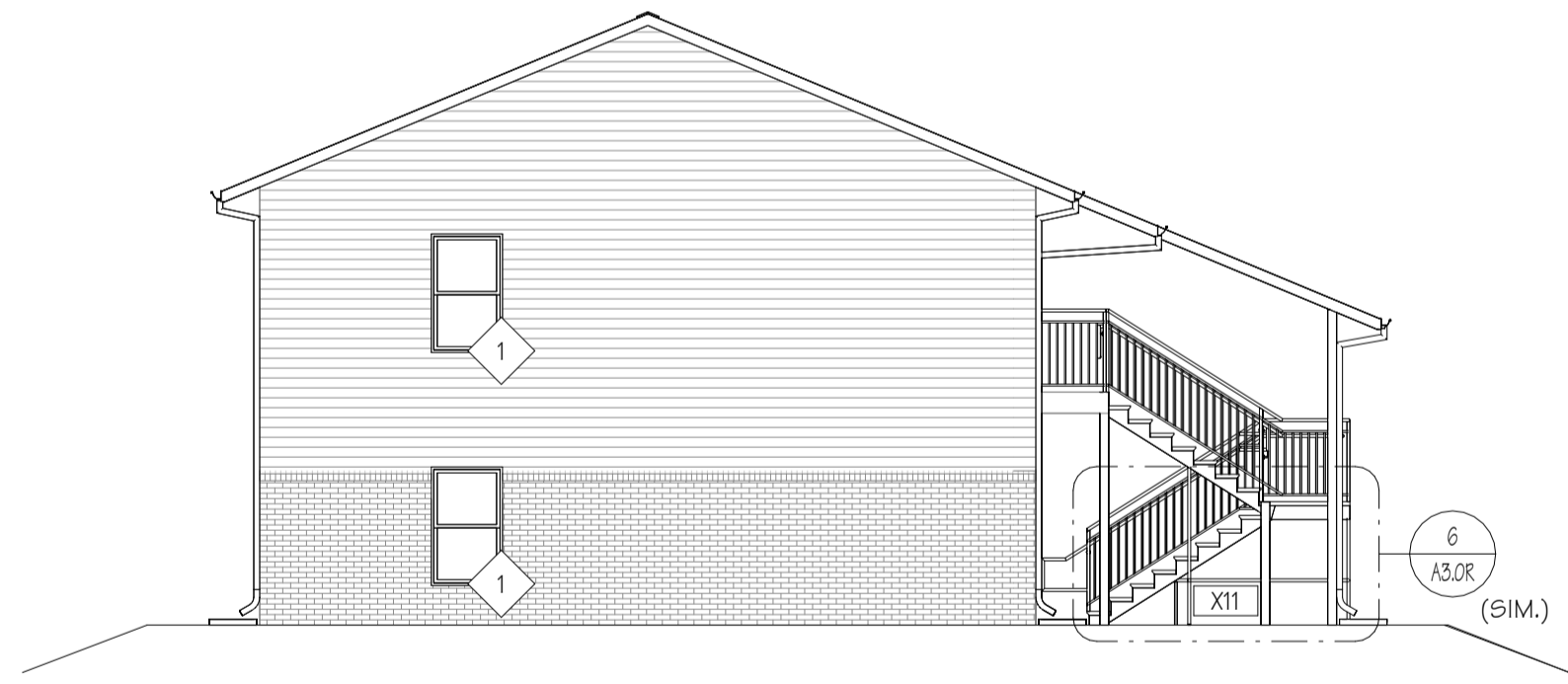
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A3.0R SCALE: 3/4" = 1'-0"



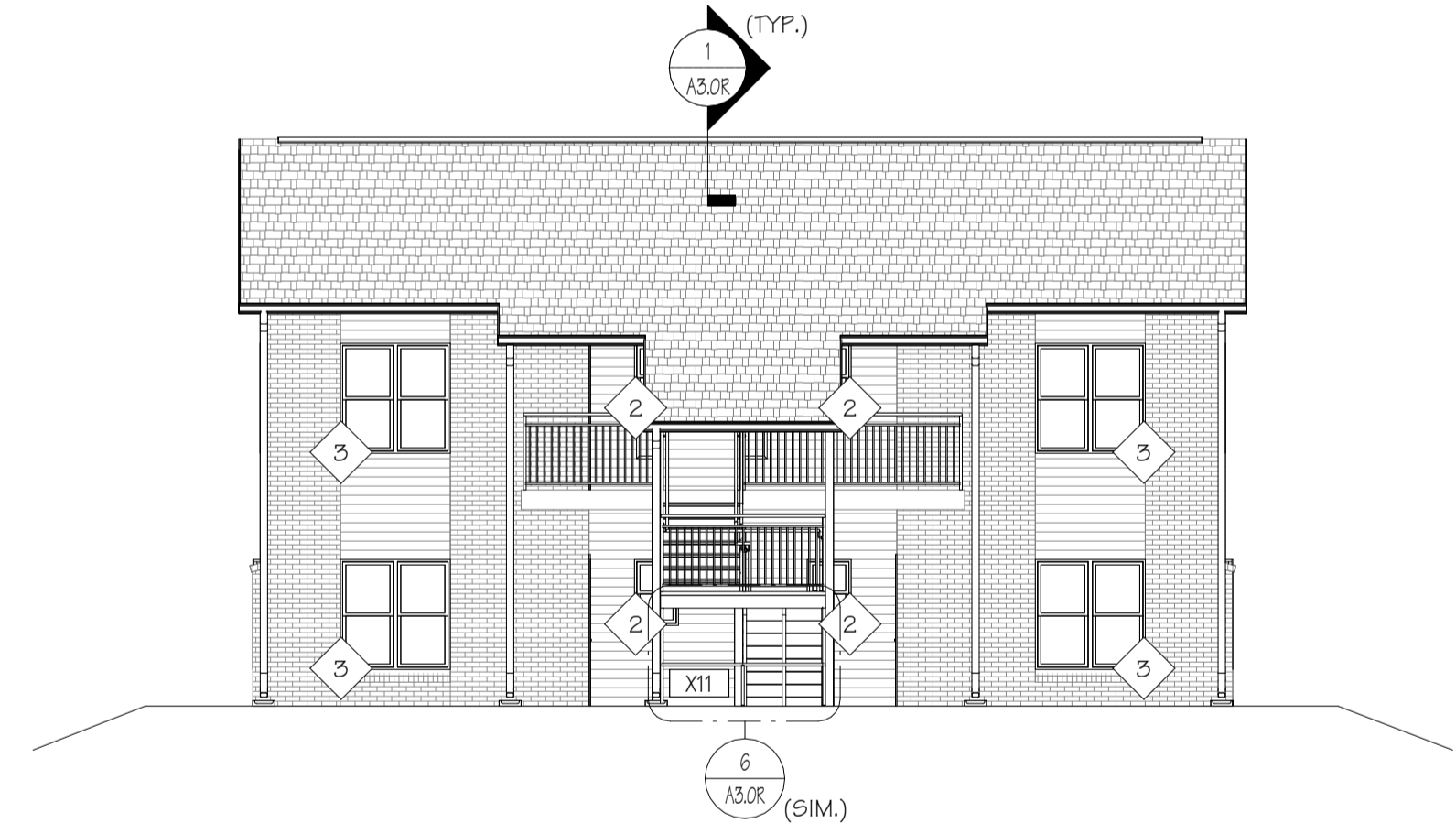
2
A3.0R SCALE: 1/2" = 1'-0"



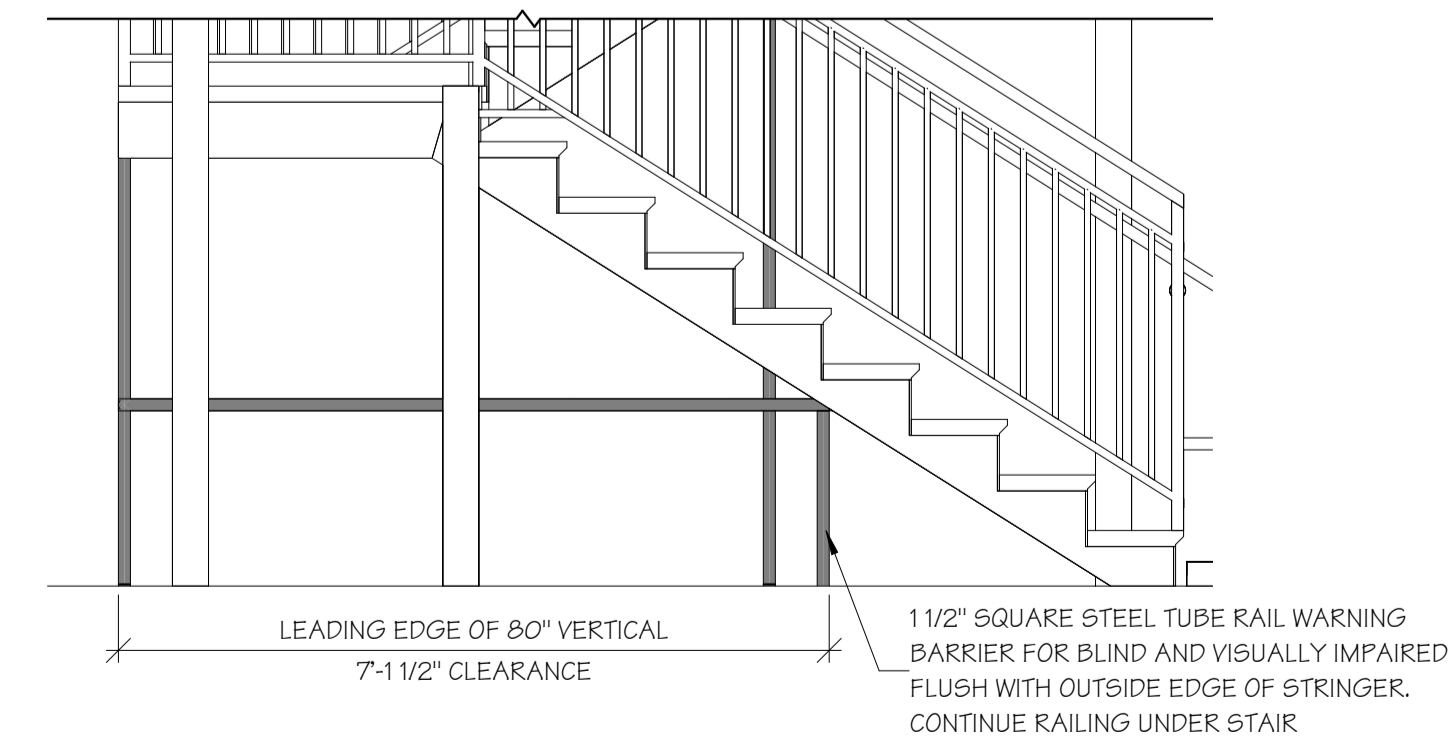
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A3.0R SCALE: 1/2" = 1'-0"



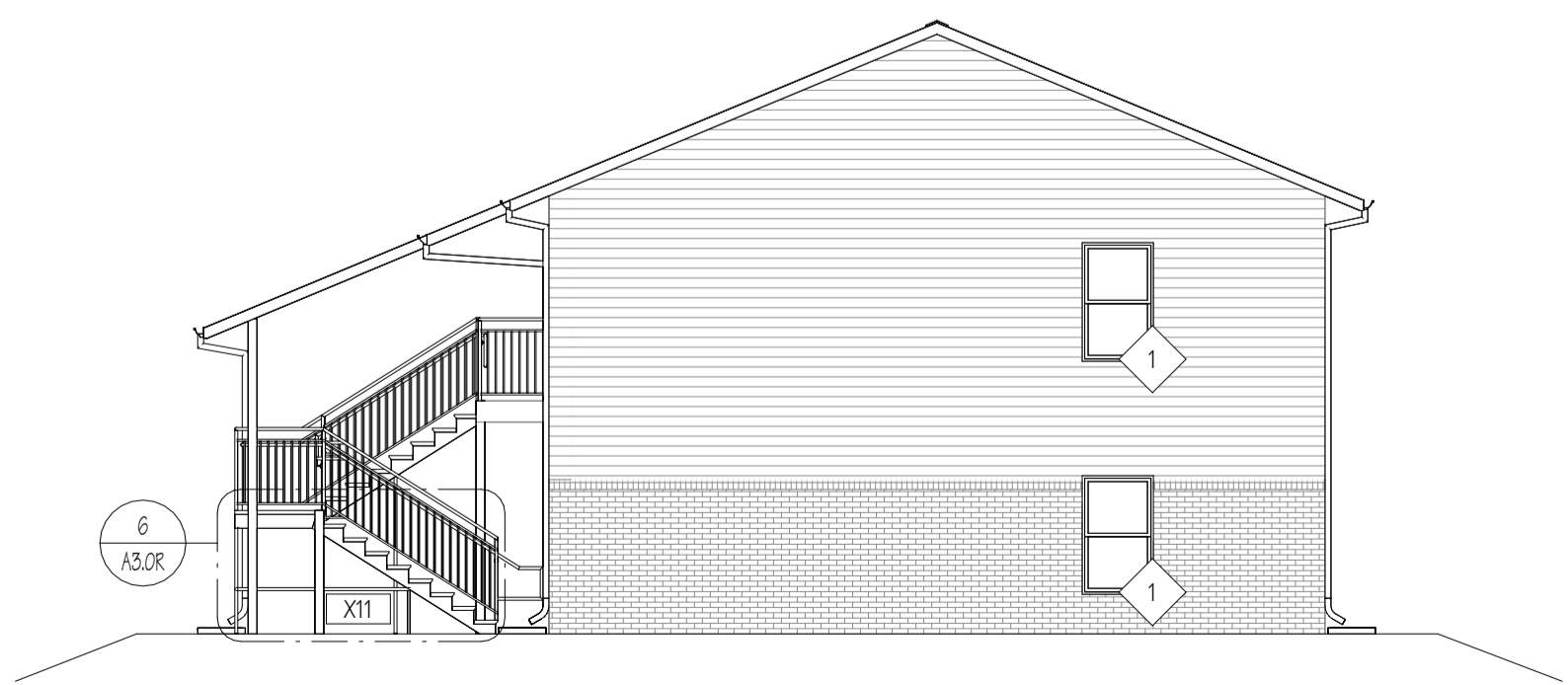
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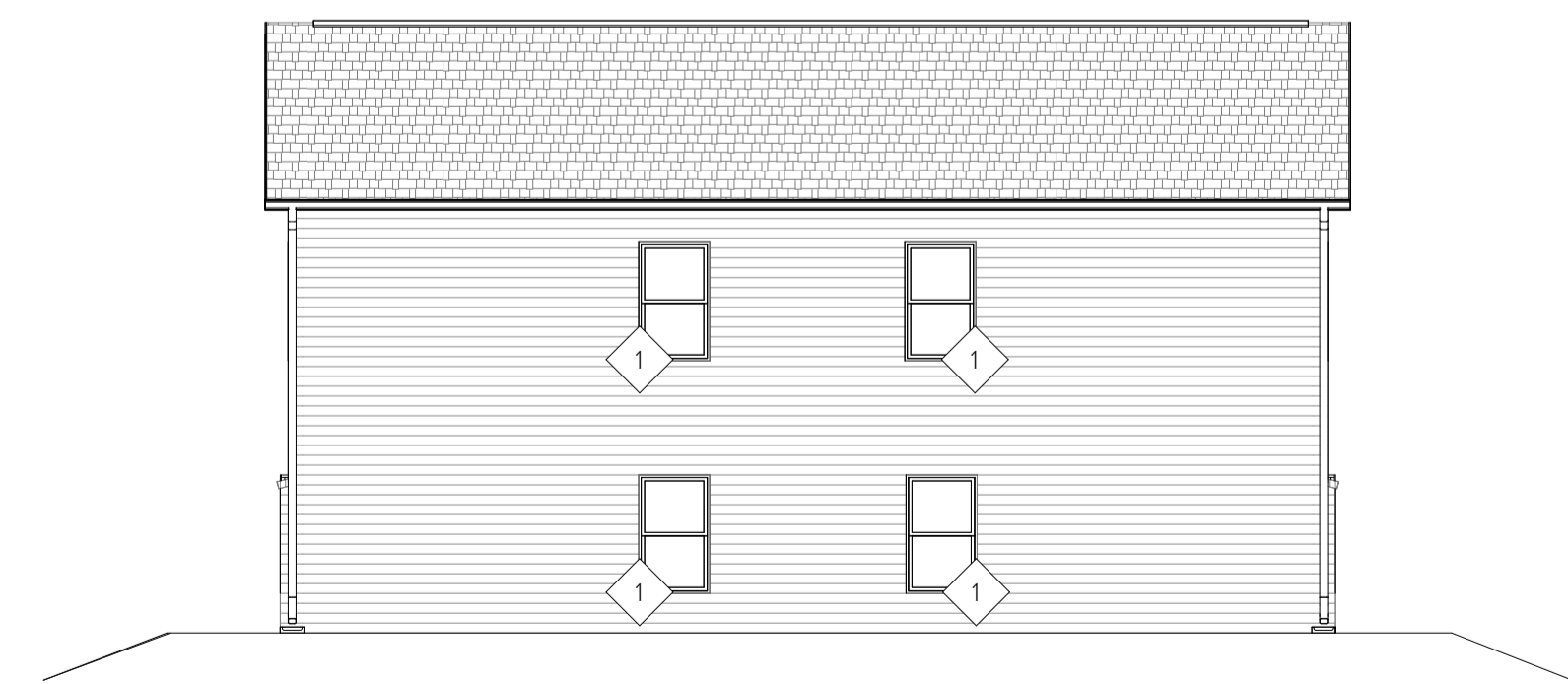
5
A3.0R SCALE: 1/2" = 1'-0"



6
A3.0R SCALE: 1/2" = 1'-0"



7
A3.0R SCALE: 1/8" = 1'-0"



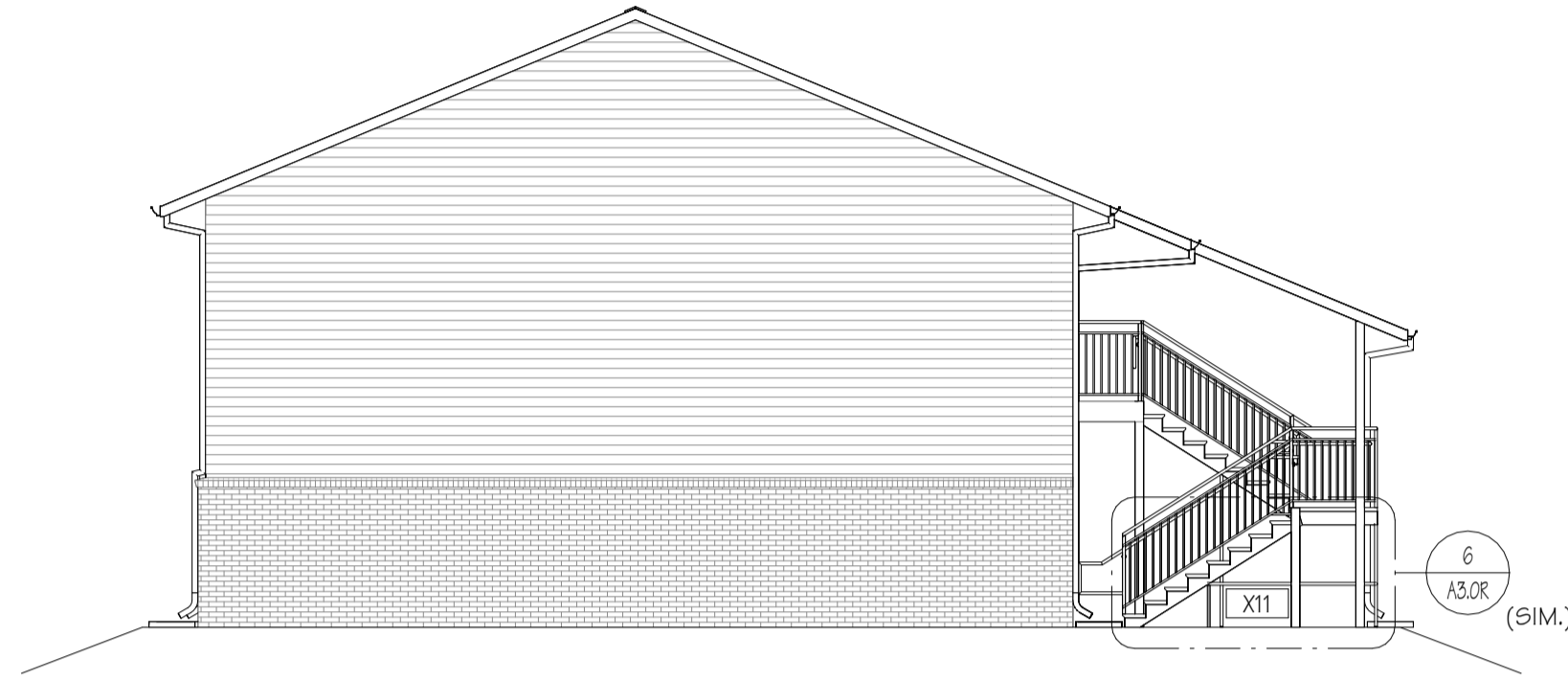
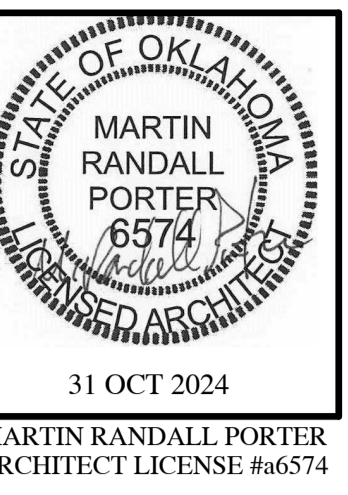
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BUILDING EXTERIOR KEYNOTES

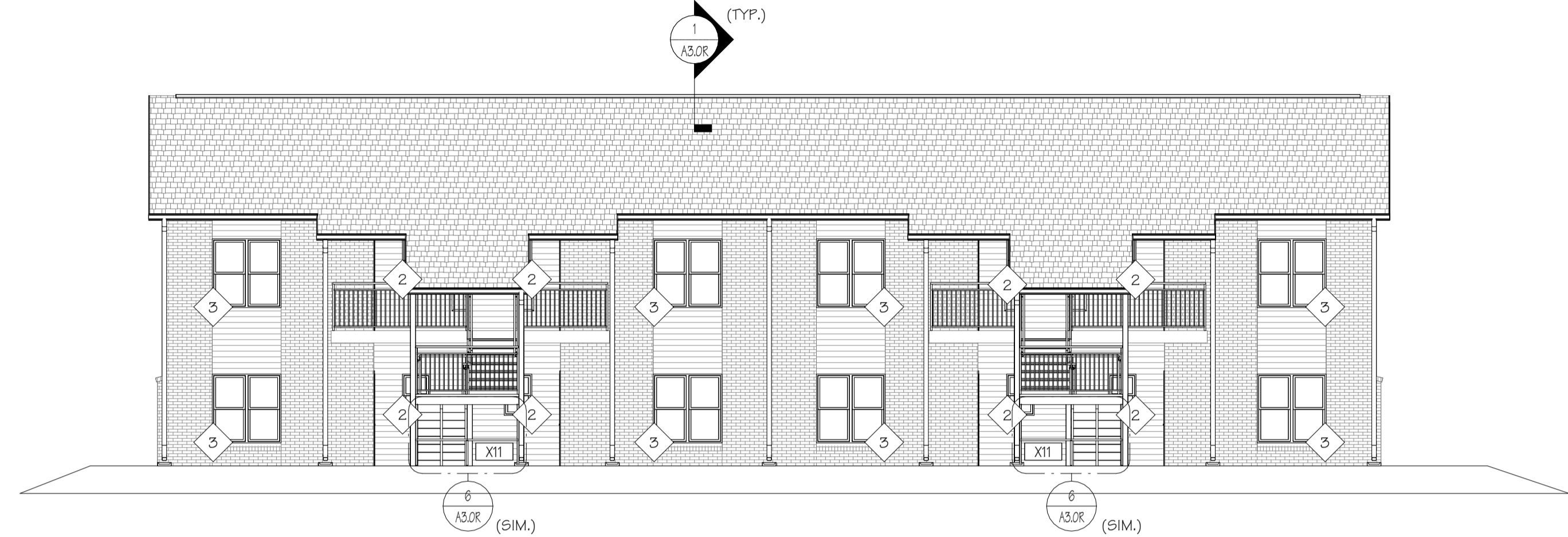
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SEE SHEET A3.0R FOR WINDOW SCHEDULE, NOTES & DETAILS.

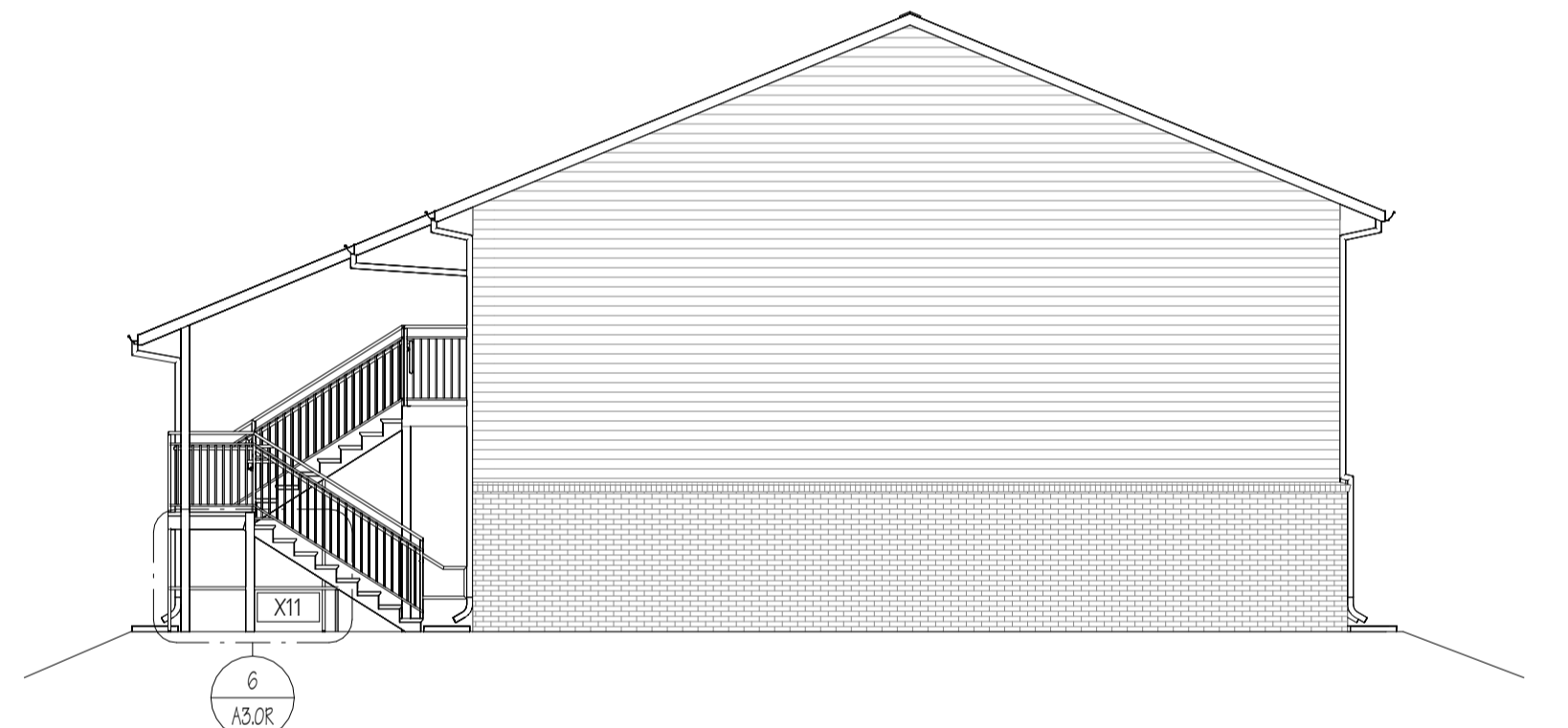
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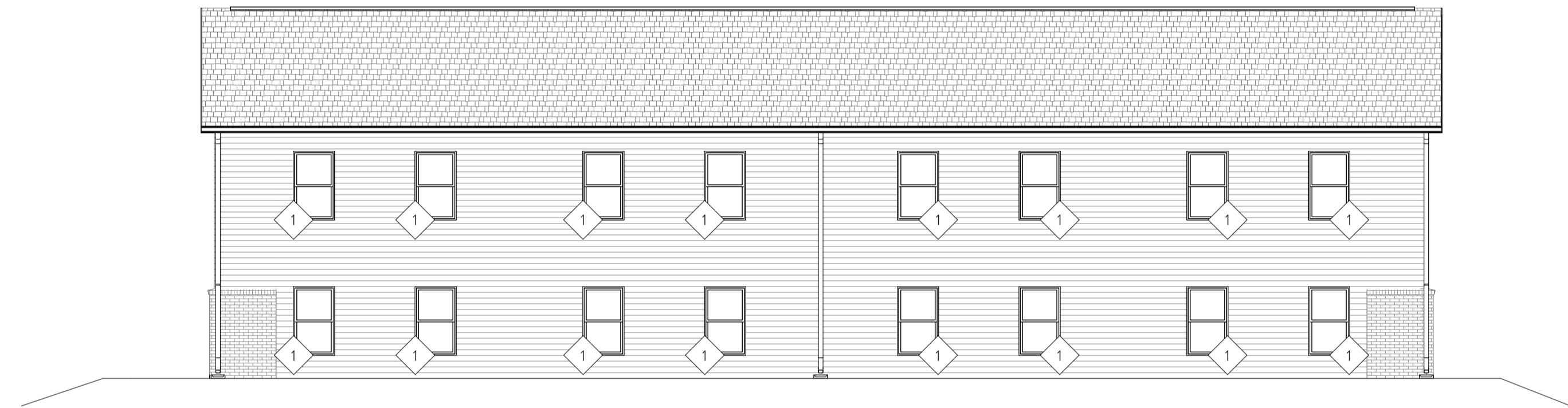
BUILDING TYPE "B" LEFT SIDE ELEVATION
 (BLDGs. #1/2, #3/4, #11/12, & #13/14)
 SCALE: 1/8" = 1'-0"



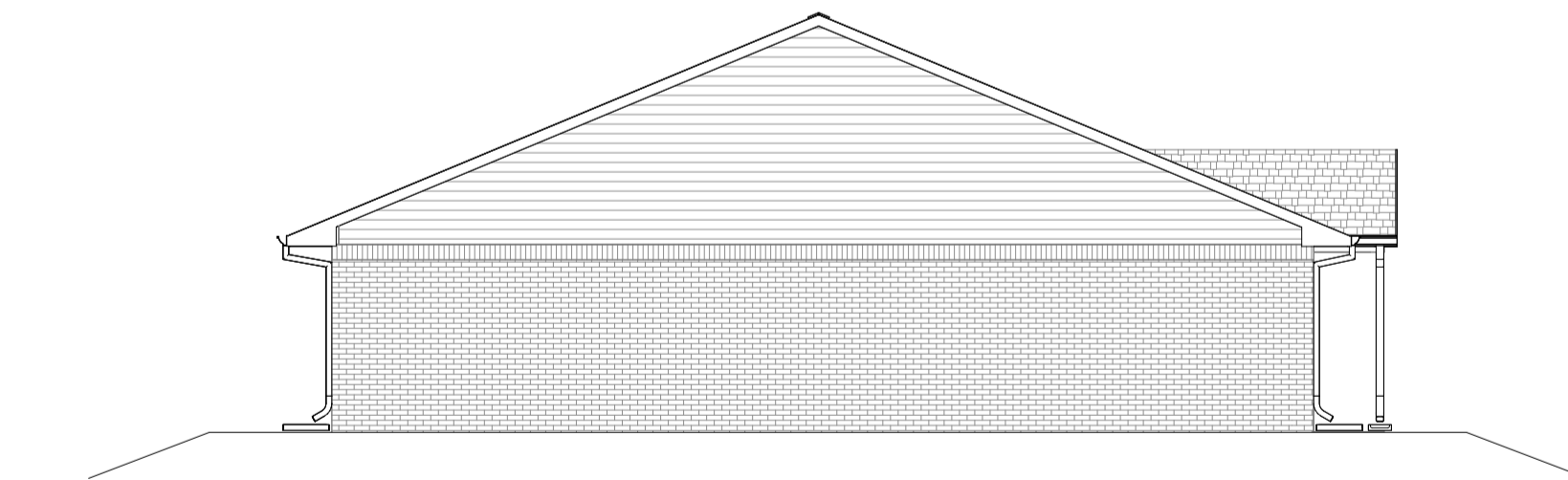
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 (BLDGs. #1/2, #3/4, #11/12, & #13/14)
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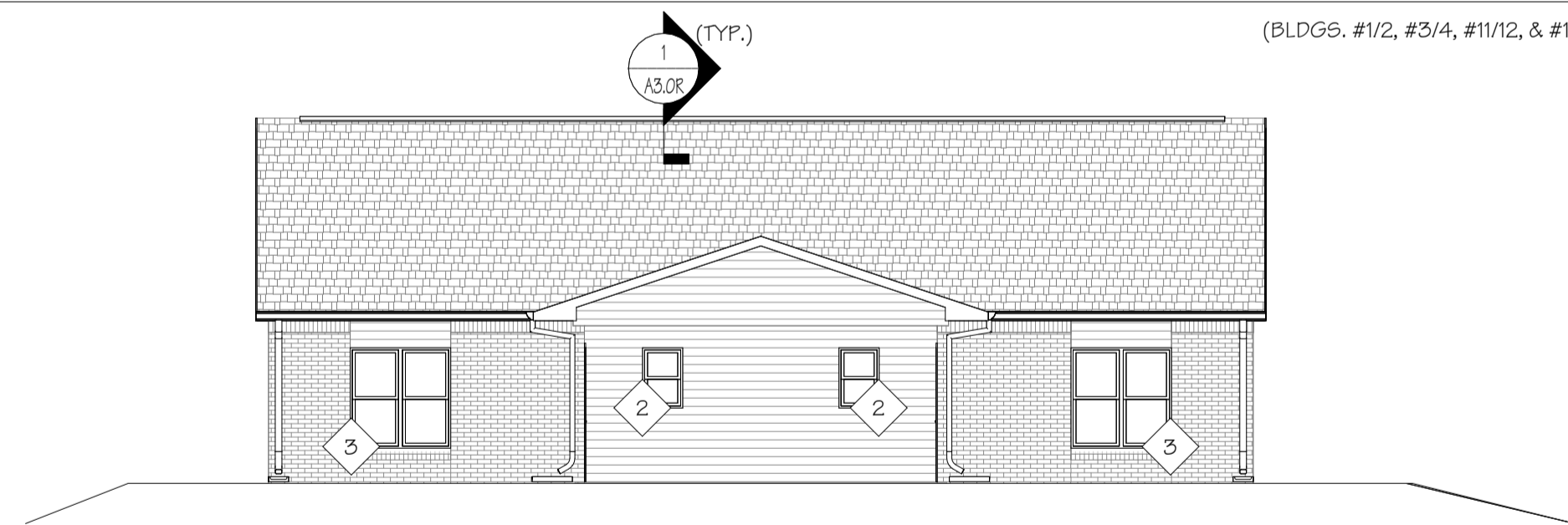
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 SCALE: 1/8" = 1'-0"



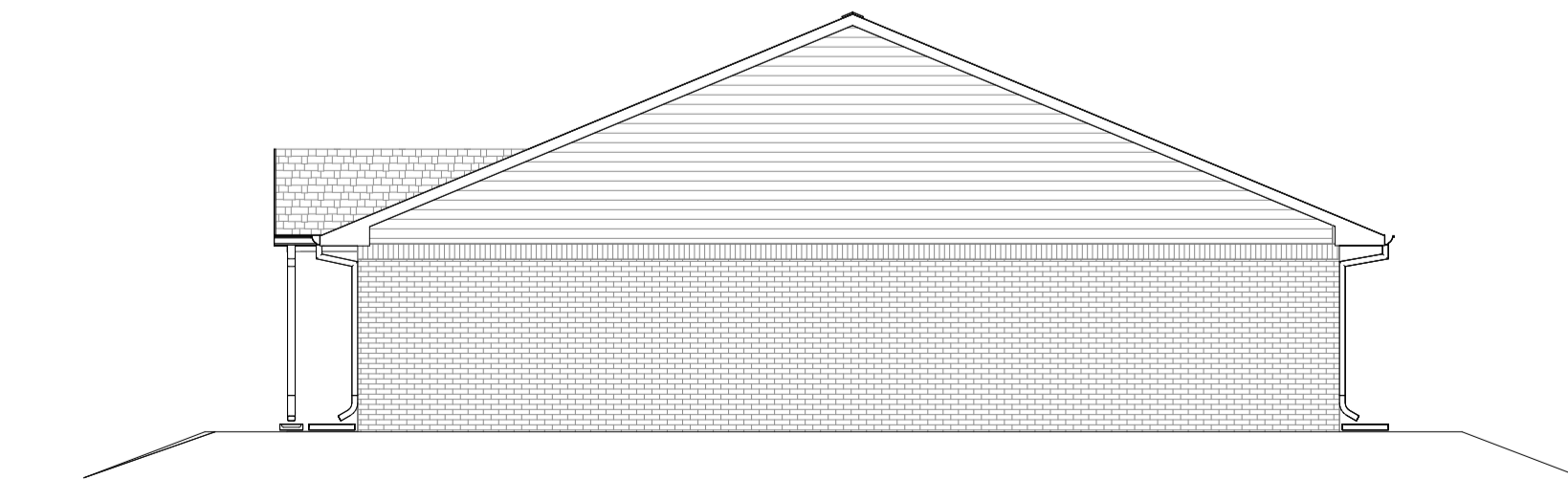
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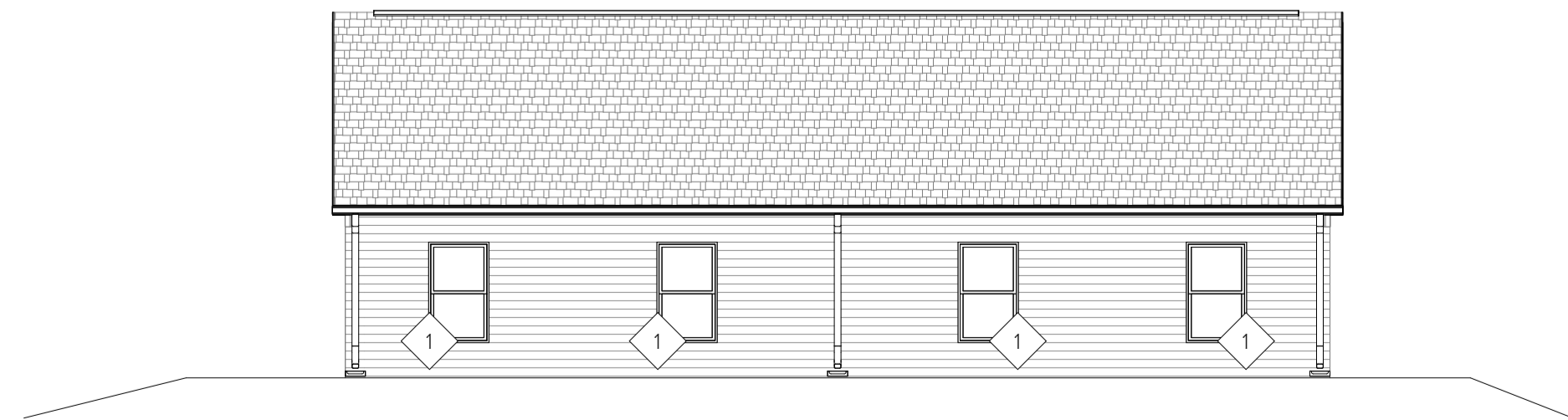
BUILDING TYPE "C" LEFT SIDE ELEVATION
 (BLDGs. #5, #6, #9, & #10)
 SCALE: 1/8" = 1'-0"



BUILDING TYPE "C" FRONT ELEVATION
 (BLDGs. #5, #6, #9, & #10)
 SCALE: 1/8" = 1'-0"



BUILDING TYPE "C" RIGHT SIDE ELEVATION
 (BLDGs. #5, #6, #9, & #10)
 SCALE: 1/8" = 1'-0"



BUILDING TYPE "C" REAR ELEVATION
 (BLDGs. #5, #6, #9, & #10)
 SCALE: 1/8" = 1'-0"

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
 ARCHITECTS LLC
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 P. 573-256-7200

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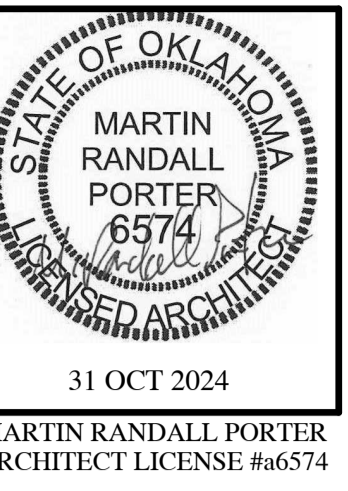
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BUILDING EXTERIOR KEYNOTES

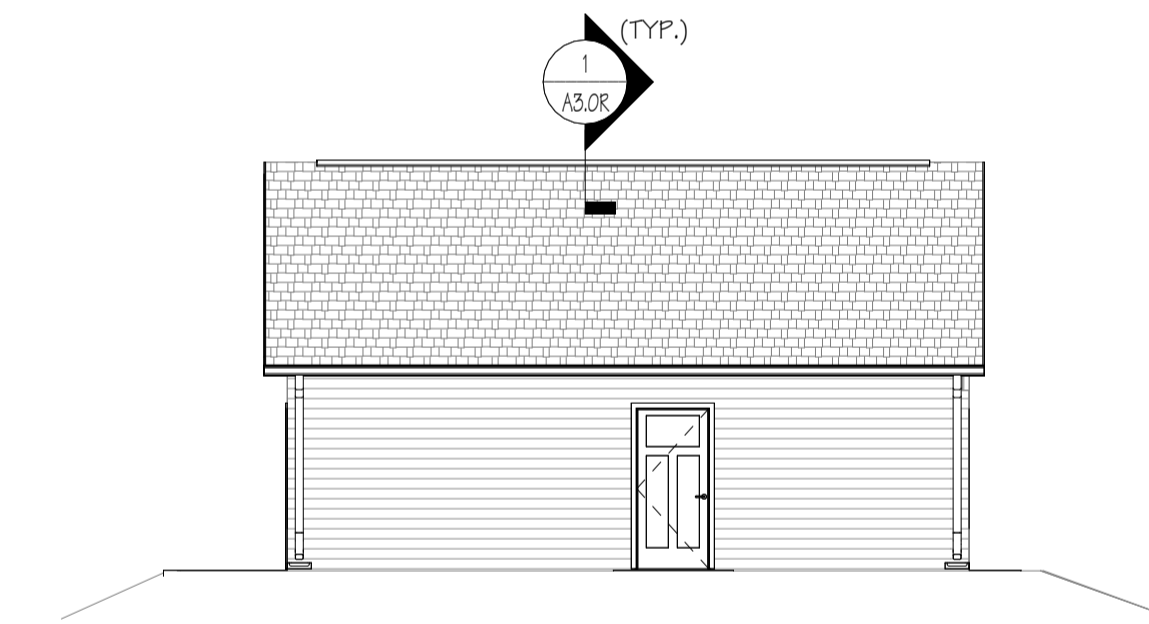
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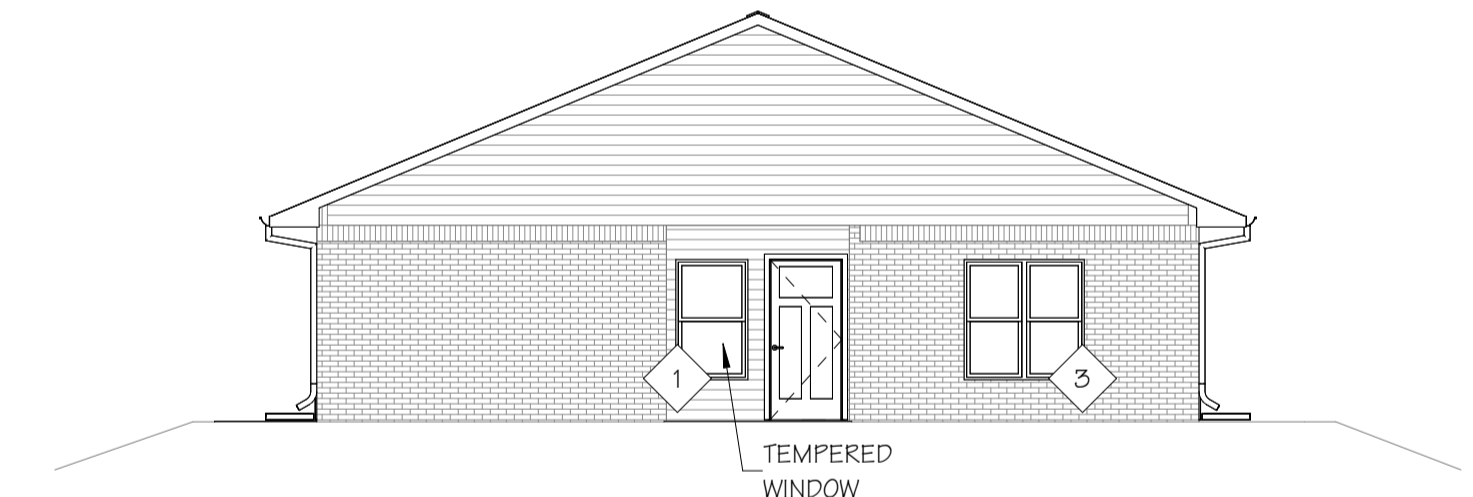
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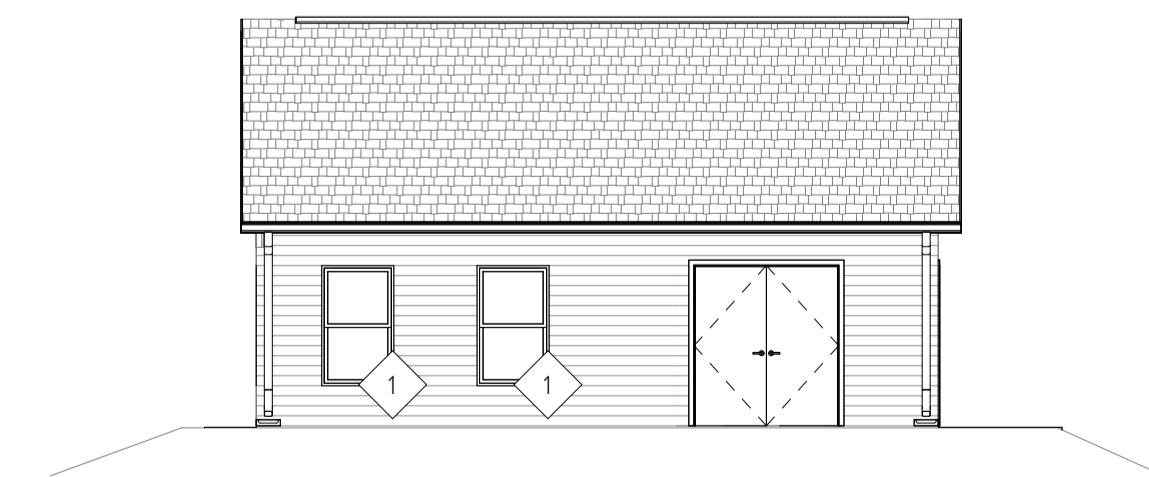
WALLACE ARCHITECTS LLC
RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



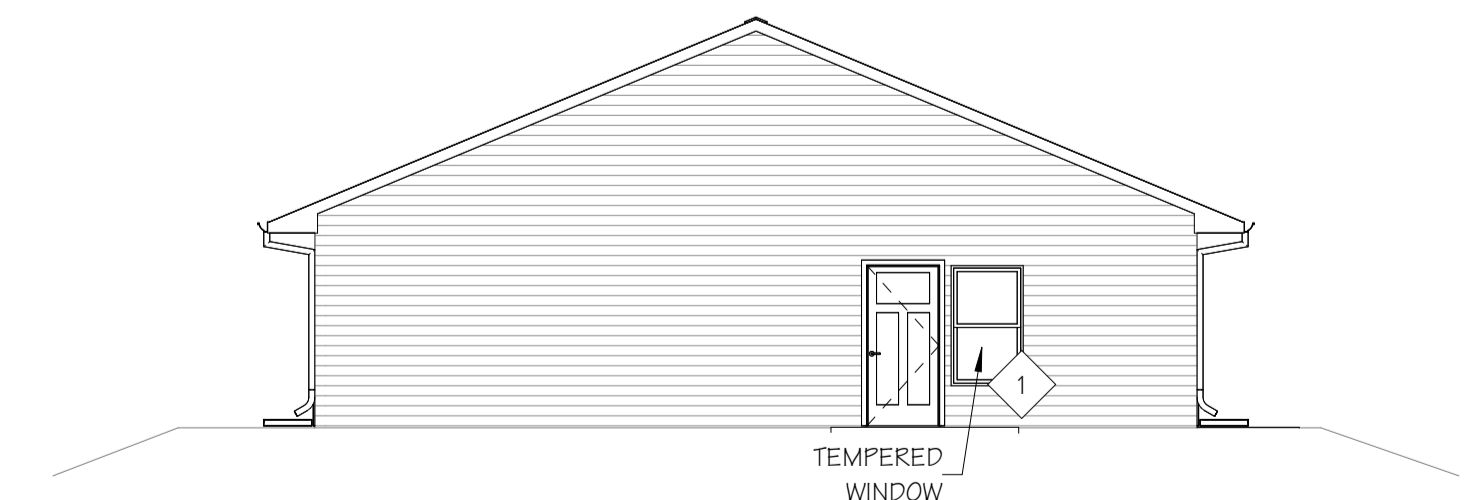
OFFICE/LAUNDRY/MAINT. BUILDING LEFT SIDE ELEVATION
 1 SCALE: 1/8" = 1'-0"



OFFICE/LAUNDRY/MAINT. BUILDING FRONT ELEVATION
 2 SCALE: 1/8" = 1'-0"



OFFICE/LAUNDRY/MAINT. BUILDING RIGHT SIDE ELEVATION
 3 SCALE: 1/8" = 1'-0"



OFFICE/LAUNDRY/MAINT. BUILDING REAR ELEVATION
 4 SCALE: 1/8" = 1'-0"

Wallace ARCHITECTS LLC
 Columbia, MO
 P 573-256-7200

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GENERAL UNIT NOTES

- CONTRACTOR SHALL FURNISH & INSTALL 4" BUILDING NUMBERS FOR EACH UNIT AS REQUIRED BY CITY OR LOCAL POSTMASTER.
- CONTRACTOR SHALL FURNISH ONE MAILBOX PER UNIT, PER OWNER SELECTION (SEE PLANS & SPECS).
- CERTIFICATION OF R-38 CEILING INSULATION MUST BE POSTED IN ATTIC.
- COAT, LINEN AND BEDROOM CLOSETS SHALL HAVE EPOXY-COATED WIRE SHELVING.
- PRIME & PAINT WALLS BEHIND MILLWORK.
- APPROPRIATELY SIZED BLINDS SHALL BE PROVIDED & INSTALLED FOR EACH GLAZED OPENING, INCLUDING PAIRED WINDOWS (PROVIDED WITH TWO SETS) AND DOOR GLAZING WHERE HALF LITE OR LARGER.

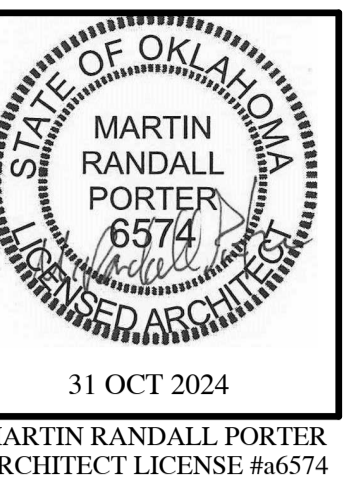
ACCESSIBLE UNIT KITCHEN NOTES

- COUNTER HEIGHT SHALL BE 34" A.F.F. TO TOP OF SINK.
- EXTEND FINISHED FLOORING BENEATH SINK SPACE AND THE 30" WORKSPACE BESIDE THE RANGE.
- TOE KICK SPACE @ BOTTOM OF BASE CABINETS SHALL REMAIN 4" MIN. (STANDARD)
- ADD SEPARATE WALL SWITCHES FOR RANGE HOOD FAN AND RANGE HOOD LIGHT (SEE ELECTRICAL PLANS) 39" A.F.F. TO BOTTOM OF SWITCH PLATE
- TOP OF WALL TELEPHONE TO BE 48" MAX. A.F.F.
- SWITCHES & OUTLETS IN KITCHEN ABOVE BASE CABINETS SHALL BE 39" A.F.F. TO BOTTOM OF SWITCH PLATE, SO AS NOT INTERFERE WITH WALL CABINET.
- INSULATED EXPOSED PIPING BELOW KITCHEN SINK W/ PIPE WRAP.

ACCESSIBLE UNIT BATH NOTES

- PROVIDE HAND-HELD SHOWER W/VACUUM BREAKER (IN LIEU OF FIXED SHOWER HEAD), 60" FLEXIBLE HOSE, & 24" SLIDE BAR.
- PROVIDE WALL MOUNTED SHOWER SEAT AS PER SPECS.
- OFF-SET SHOWER VALVE CONTROL SO IT IS CENTERED 8" FROM OUTER EDGE OF TUB FOR EASIER ACCESS, & 26" A.F.F. (LEVER TYPE CONTROL).
- INSTALL GRAB BARS WITH ROUND HEAD SCREWS.
- PROVIDE & INSTALL 36" GRAB BAR BEHIND @ 42" GRAB BAR BESIDE WATER CLOSET ON WALL @ 34" A.F.F. (SEE BATH ELEVATIONS SHEET A7.0)
- BOTTOM OF MIRROR TO REST ON COUNTERTOP BACKSPLASH.
- VANITY SINK FAUCET TO BE LEVER TYPE, & EXPOSED PIPING TO BE WRAPPED W/ PIPE WRAP.
- EXTEND FINISHED FLOORING BENEATH LAV. SPACE.

NOTES:
 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS.
 MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT



TYP. 1-BR FINISH SCHEDULE

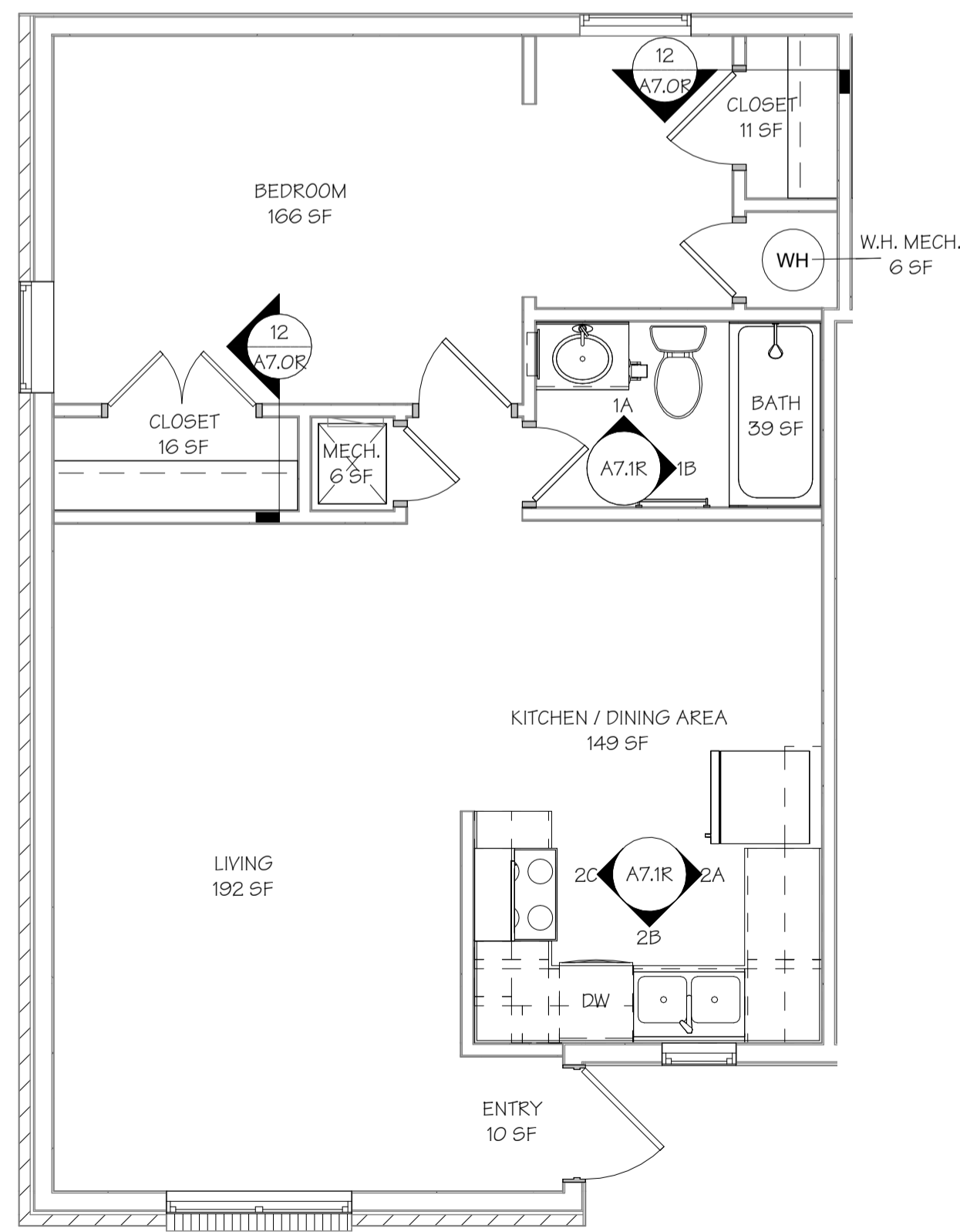
NAME	FLOOR FINISH	BASE FINISH	WALL & CEILING FINISH	COMMENTS
TYP. 1-BR				
BATH	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
CLOSET	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
ENTRY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
KITCHEN / DINING AREA	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LIVING	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
W.H. MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE

UFAS 1-BR FINISH SCHEDULE

NAME	FLOOR FINISH	BASE FINISH	WALL & CEILING FINISH	COMMENTS
UFAS 1-BR				
BATH	CERAMIC TILE	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
CLOSET	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
ENTRY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
KITCHEN	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LIVING / DINING AREA	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
W.H. MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE

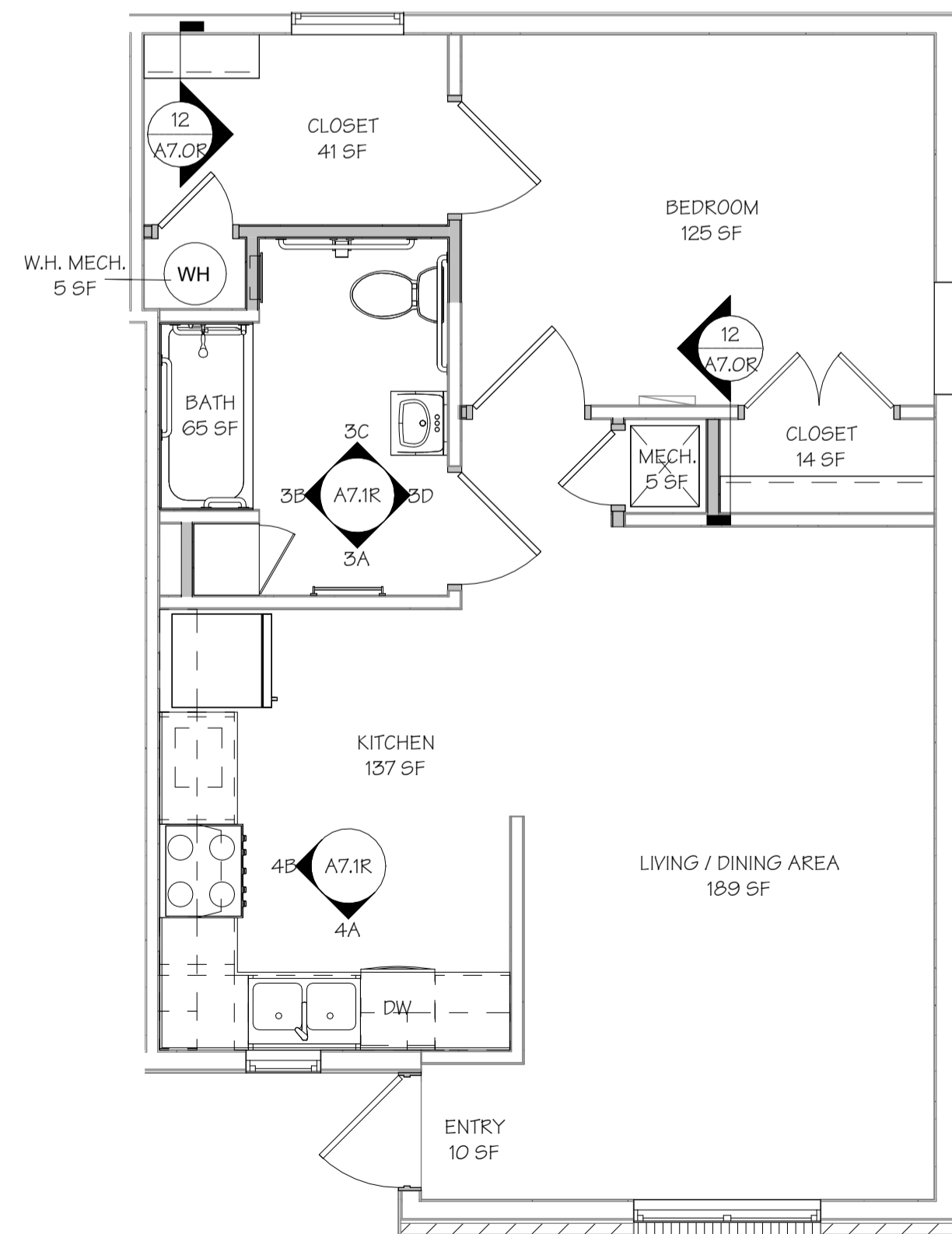
TYP. 2-BR FINISH SCHEDULE

NAME	FLOOR FINISH	BASE FINISH	WALL & CEILING FINISH	COMMENTS
TYP. 2-BR				
BATH	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM 1	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM 2	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
CLOSET	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
ENTRY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
HALL	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
KITCHEN / DINING AREA	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LINEN	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LIVING	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE



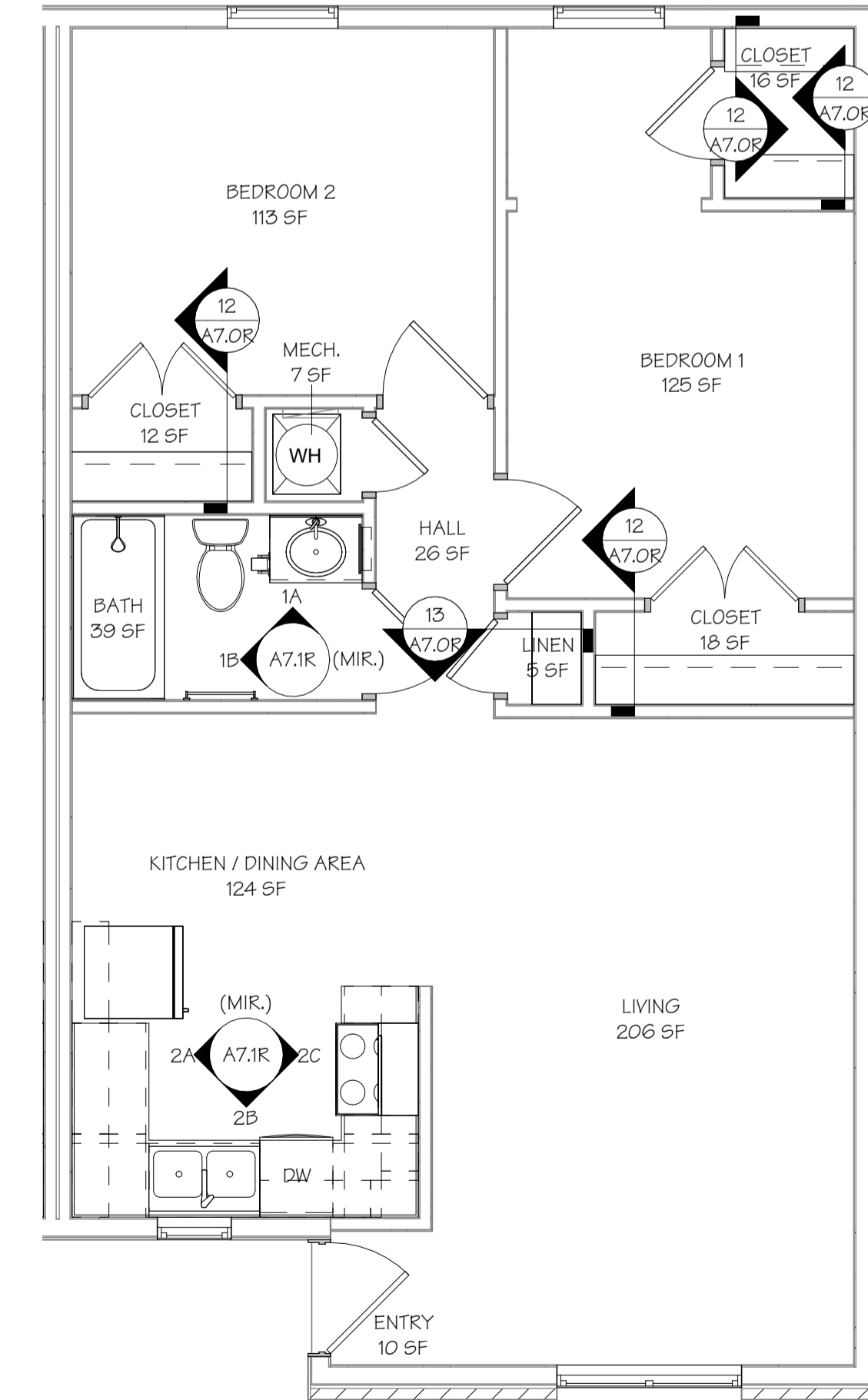
TYP. 1-BR FINISH PLAN

SCALE: 1/4" = 1'-0"



UFAS 1-BR FINISH PLAN

SCALE: 1/4" = 1'-0"



TYP. 2-BR FINISH PLAN

SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
 ARCHITECTS LLC
 Columbia, MO
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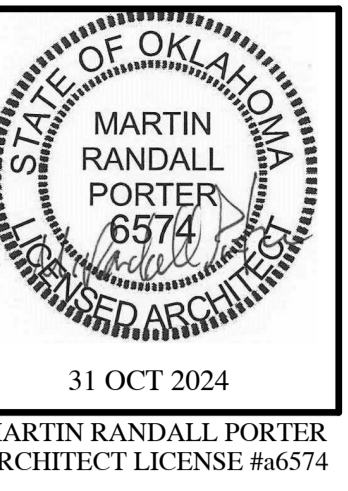
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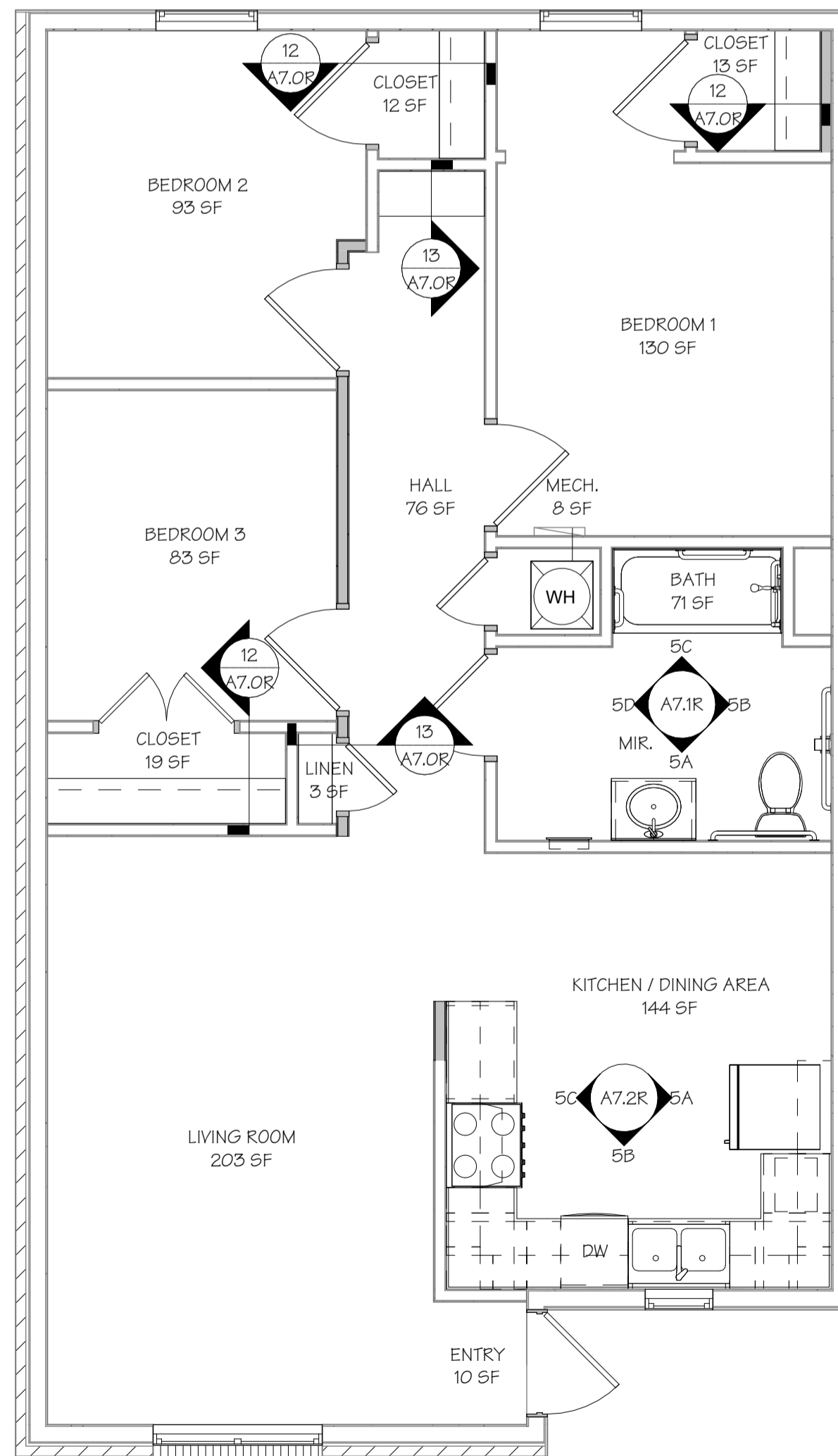
SEE SHEET A6.0R FOR ADDITIONAL NOTES

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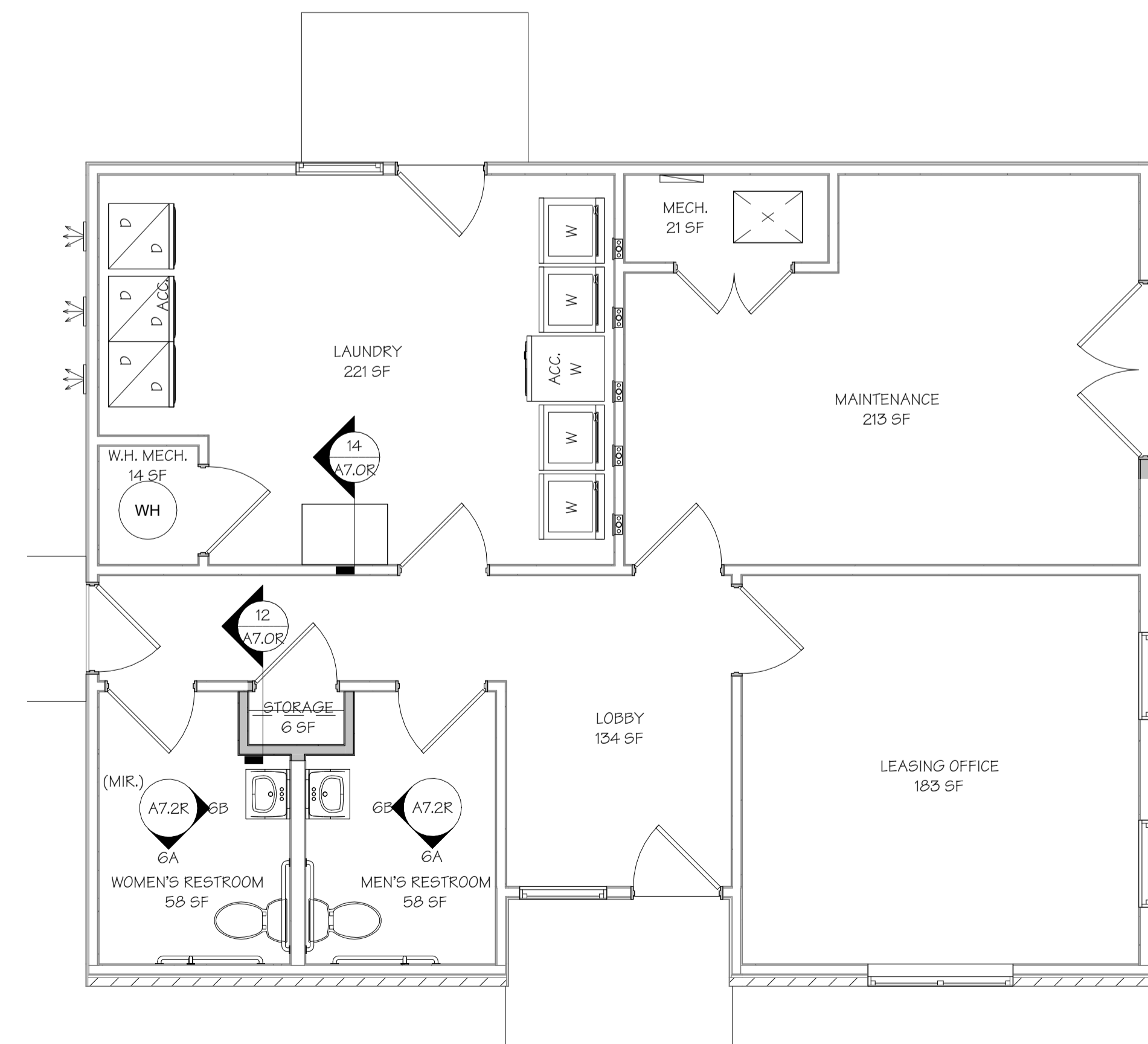


UFAS 3-BR FINISH SCHEDULE				
NAME	FLOOR FINISH	BASE FINISH	WALL & CEILING FINISH	COMMENTS
UFAS 3-BR				
BATH	CERAMIC TILE	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM 1	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM 2	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
BEDROOM 3	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
CLOSET	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
ENTRY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
HALL	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
KITCHEN / DINING AREA	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LINEN	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LIVING ROOM	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE

OFFICE/LAUNDRY/MAINT. FINISH SCHEDULE				
NAME	FLOOR FINISH	BASE FINISH	WALL & CEILING FINISH	COMMENTS
OLM				
LAUNDRY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LEASING OFFICE	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
LOBBY	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MAINTENANCE	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
MEN'S RESTROOM	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
STORAGE	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
W.H. MECH.	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE
WOMEN'S RESTROOM	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	SCRAPE/REMOVE EXISTING POPCORN TEXTURE AND REPLACE W/ NEW KNOCKDOWN TEXTURE; PAINT WALLS/CEILING'S COLOR AS SELECTED BY OWNER	LOW VOC PAINT & ADHESIVE



1 UFAS 3-BR FINISH PLAN
 SCALE: 1/4" = 1'-0"



2 OFFICE/LAUNDRY/MAINT. FINISH PLAN
 SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
 CHICKASHA, GRADY COUNTY, OKLAHOMA



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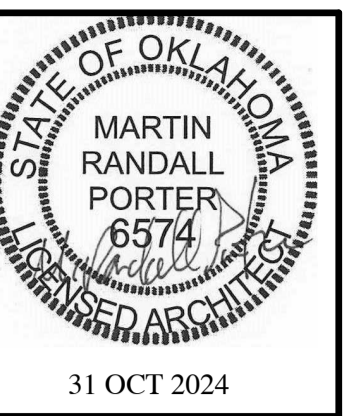
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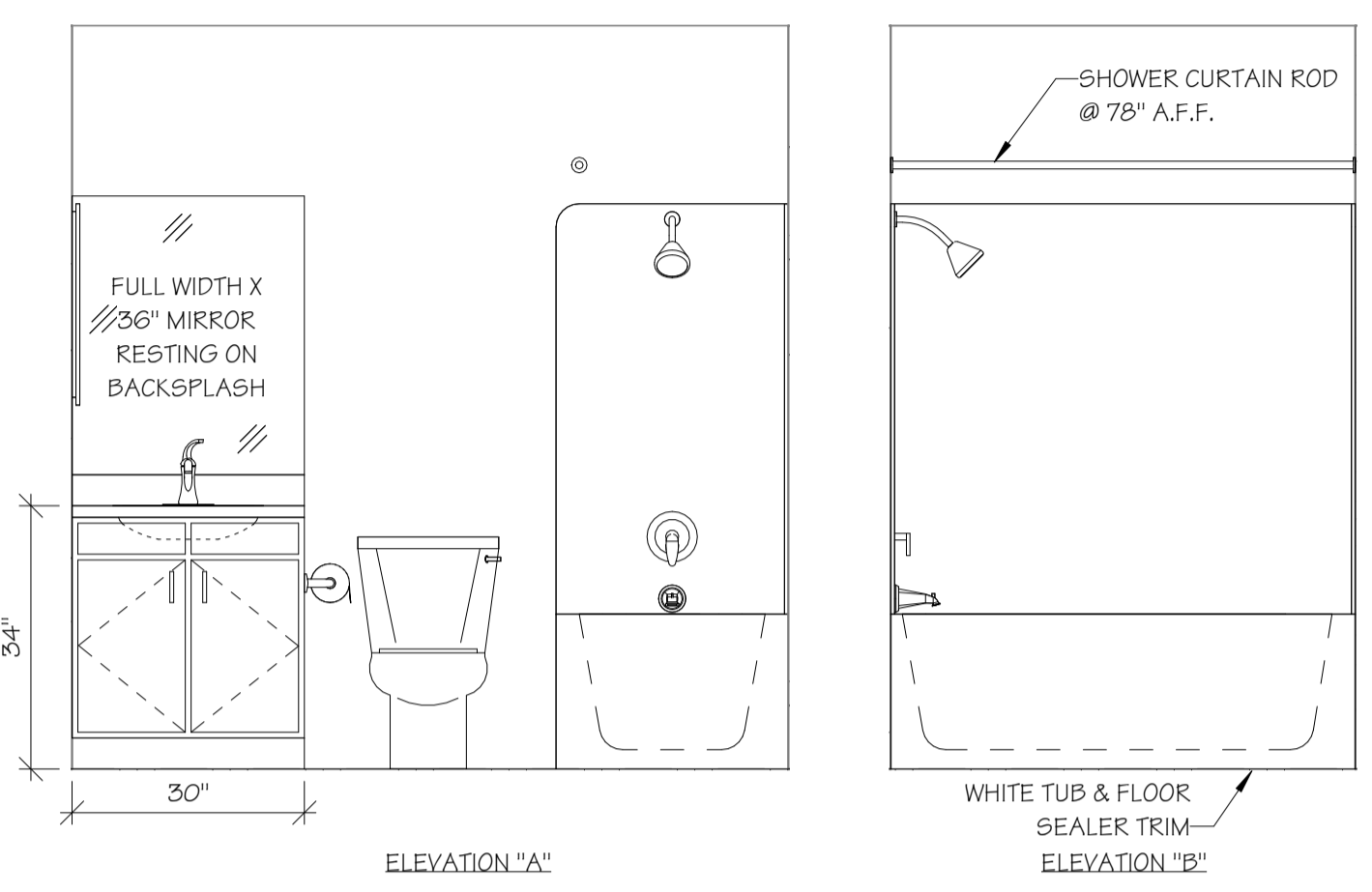
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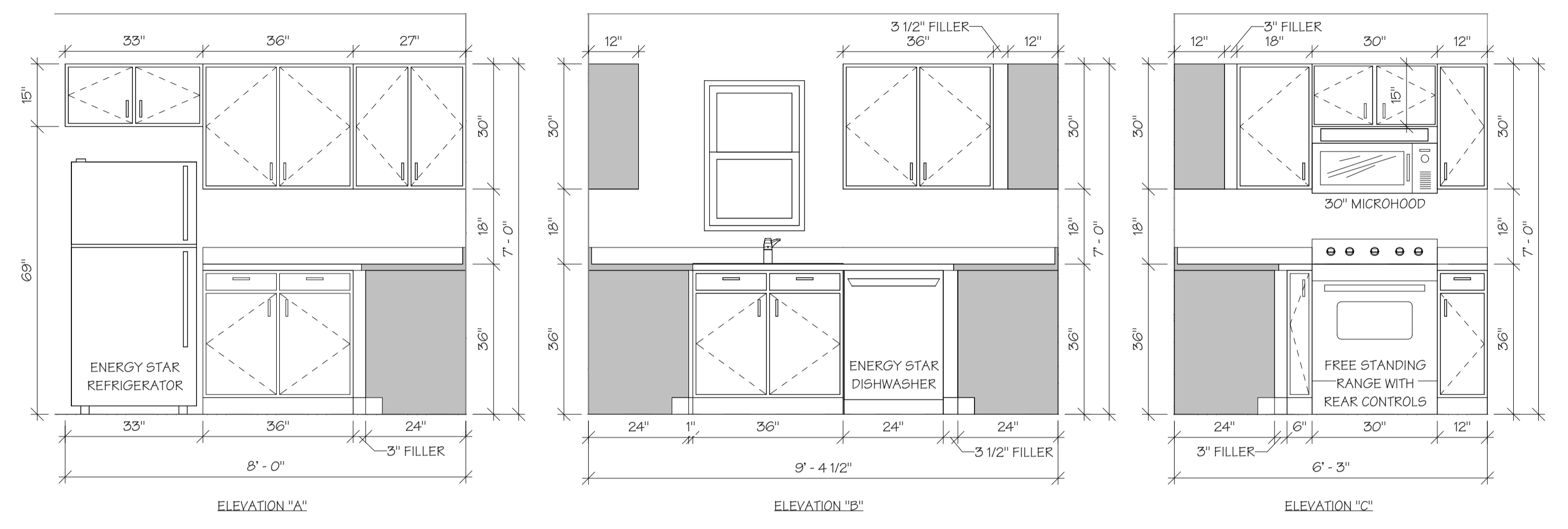
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NOTE: REFER TO SHEET A7.0R FOR ADDITIONAL DIMENSIONS, NOTES & DETAILS APPLICABLE TO INTERIOR ELEVATIONS ON THIS SHEET.



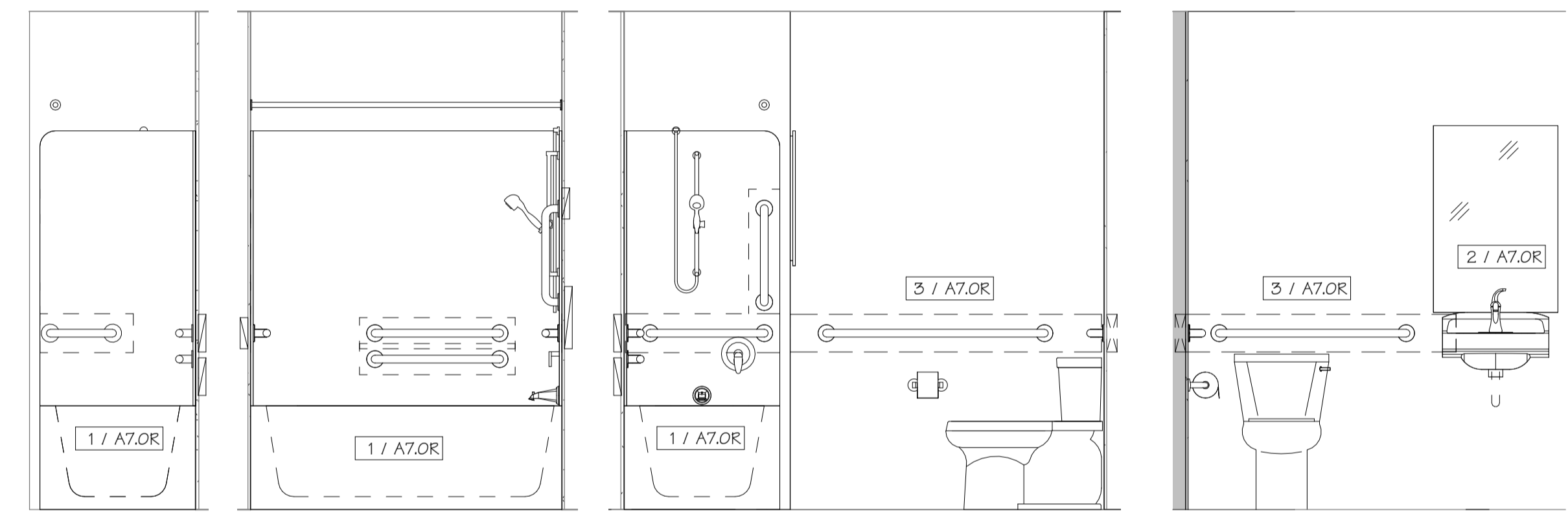
TYP. 1-BR, TYP. 2-BR & TYP. 3-BR-B BATH ELEVATIONS

1 A7.1R SCALE: 1/2" = 1'-0" (TYP. 1-BR & TYP. 3-BR-B SHOWN, TYP. 2-BR & TYP. 3-BR-B MIRRORED)



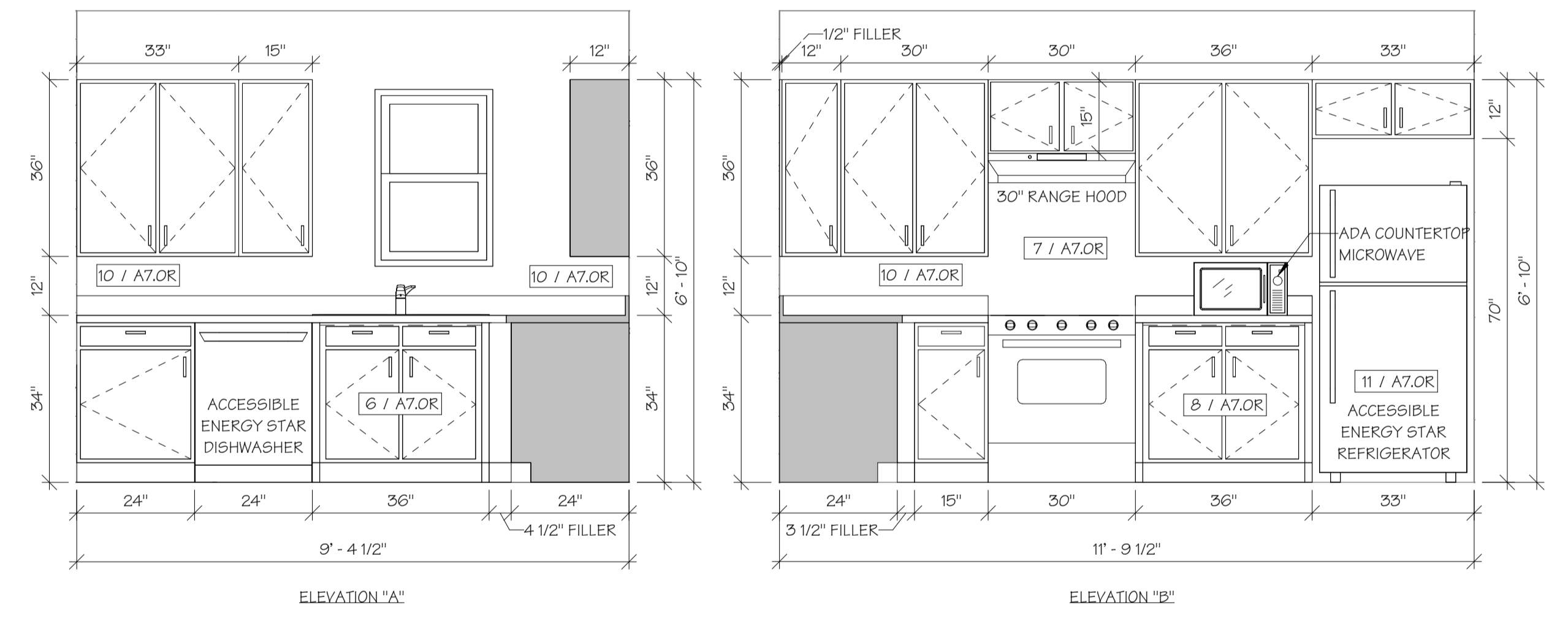
TYP. 1-BR & TYP. 2-BR KITCHEN ELEVATIONS

2 A7.1R SCALE: 1/2" = 1'-0" (TYP. 1-BR SHOWN, TYP. 2-BR MIRRORED)



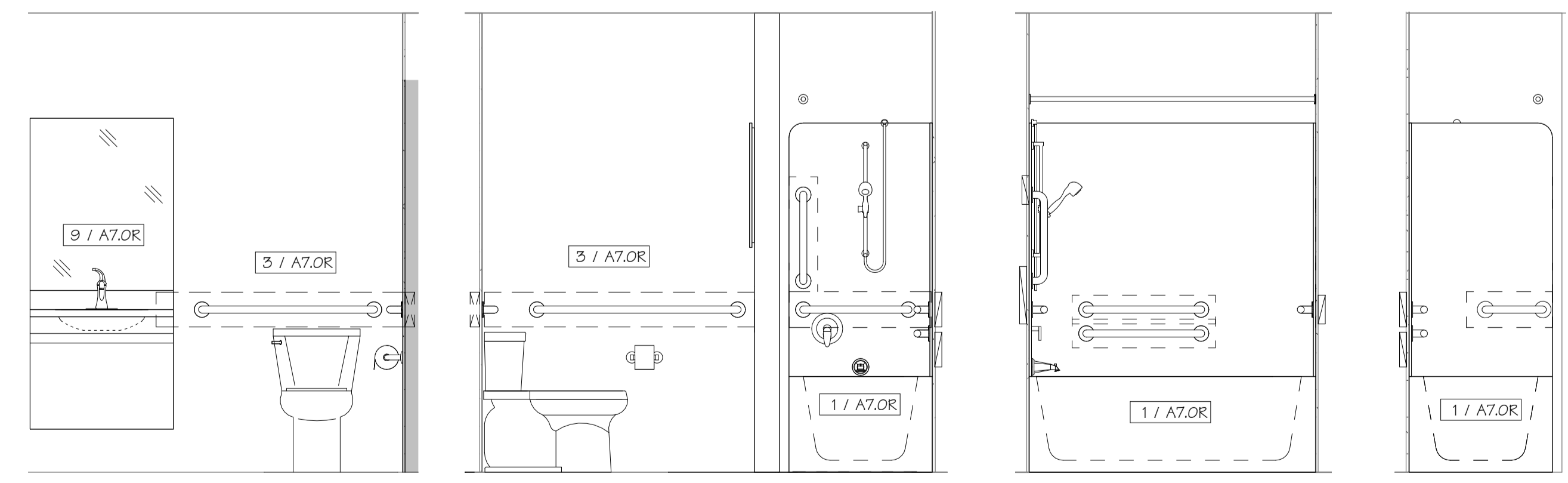
UFAS 1-BR BATH ELEVATIONS

3 A7.1R SCALE: 1/2" = 1'-0"



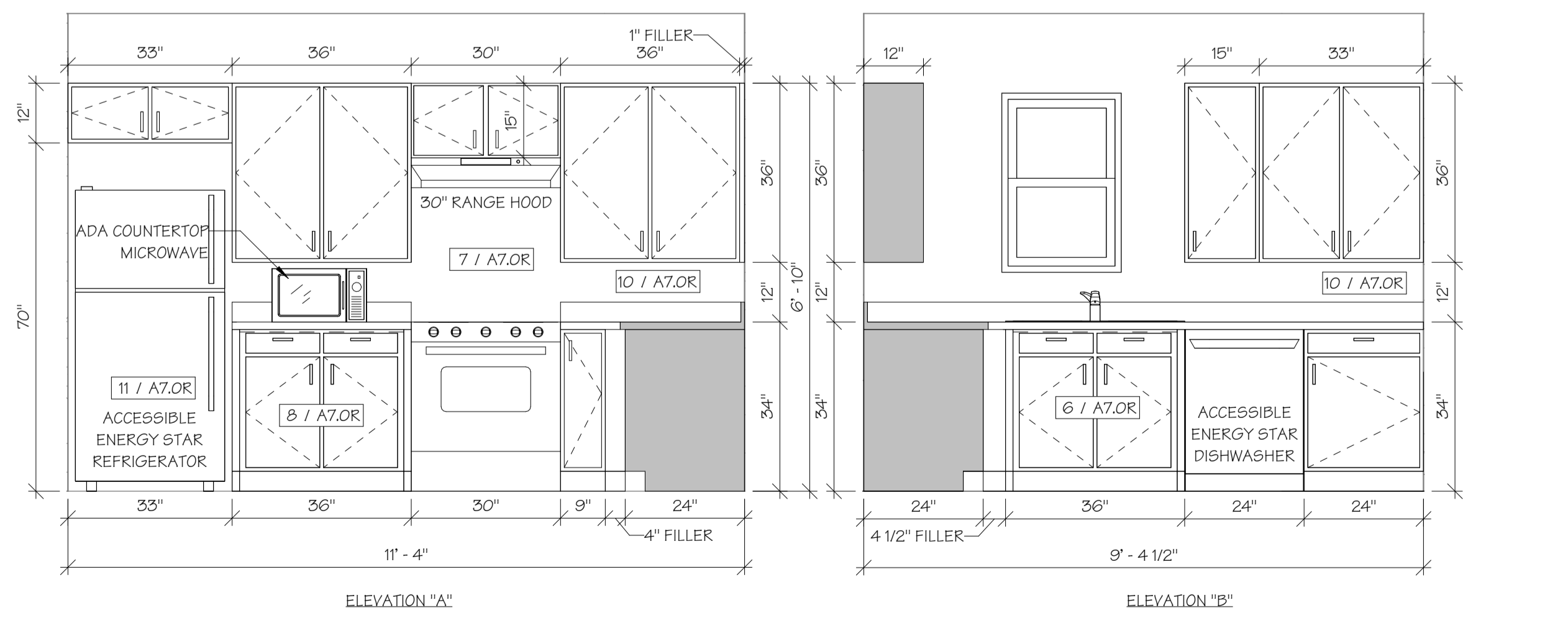
UFAS 1-BR KITCHEN ELEVATIONS

4 A7.1R SCALE: 1/2" = 1'-0"



UFAS 2-BR & UFAS 3-BR BATH ELEVATIONS

5 A7.1R SCALE: 1/2" = 1'-0" (UFAS 2-BR SHOWN, UFAS 3-BR MIRRORED)

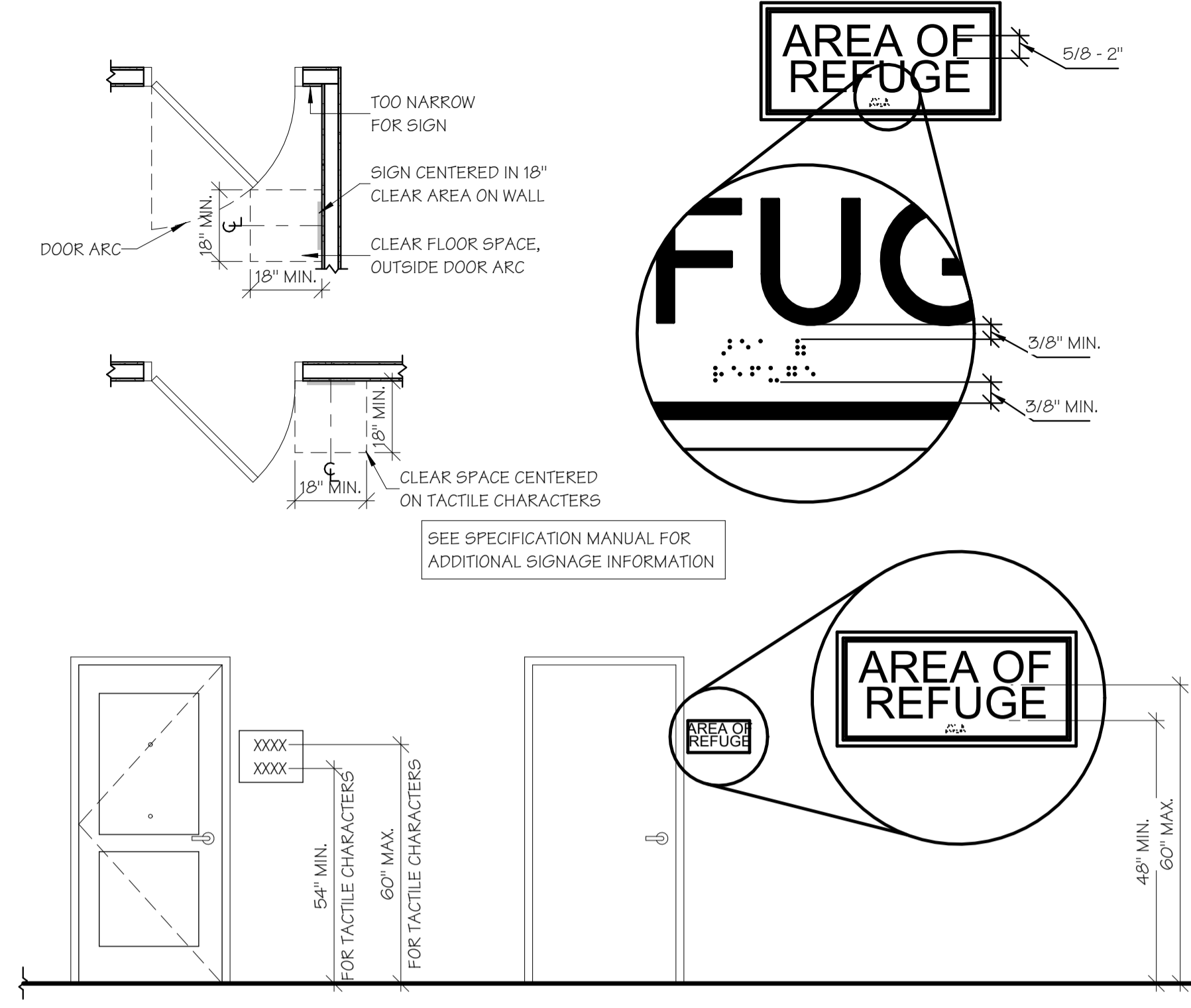


UFAS 2-BR KITCHEN ELEVATIONS

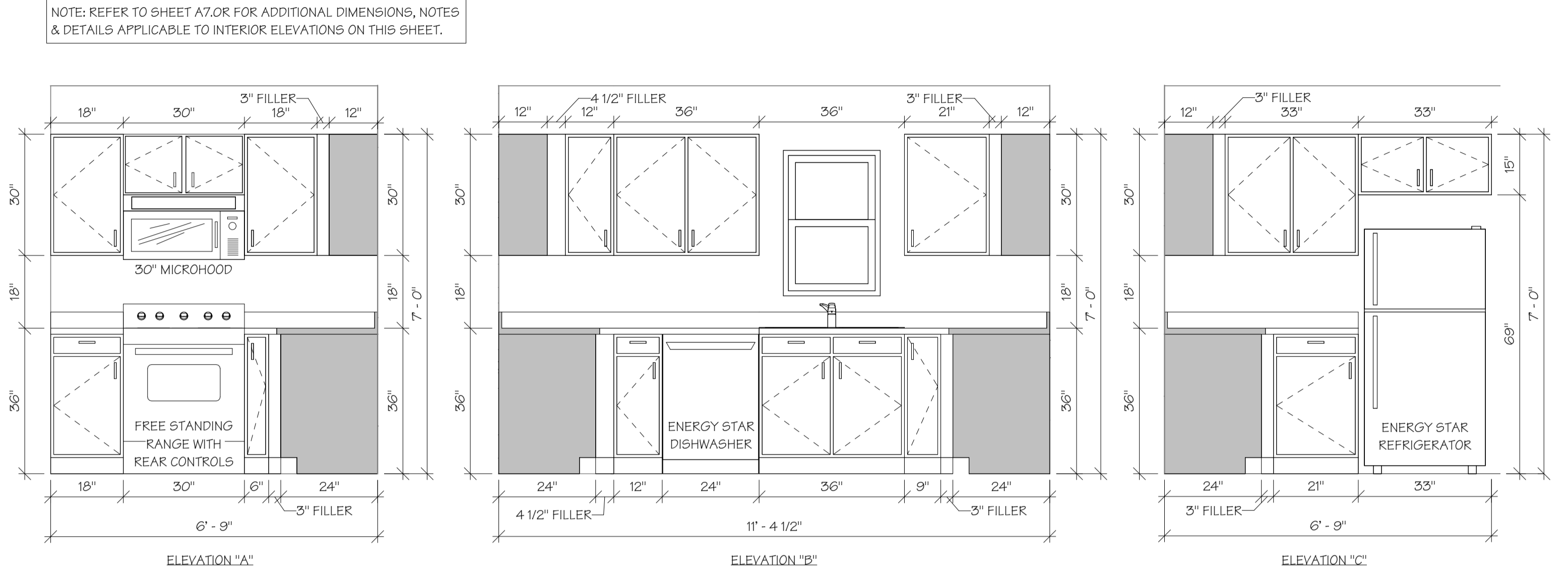
6 A7.1R SCALE: 1/2" = 1'-0"

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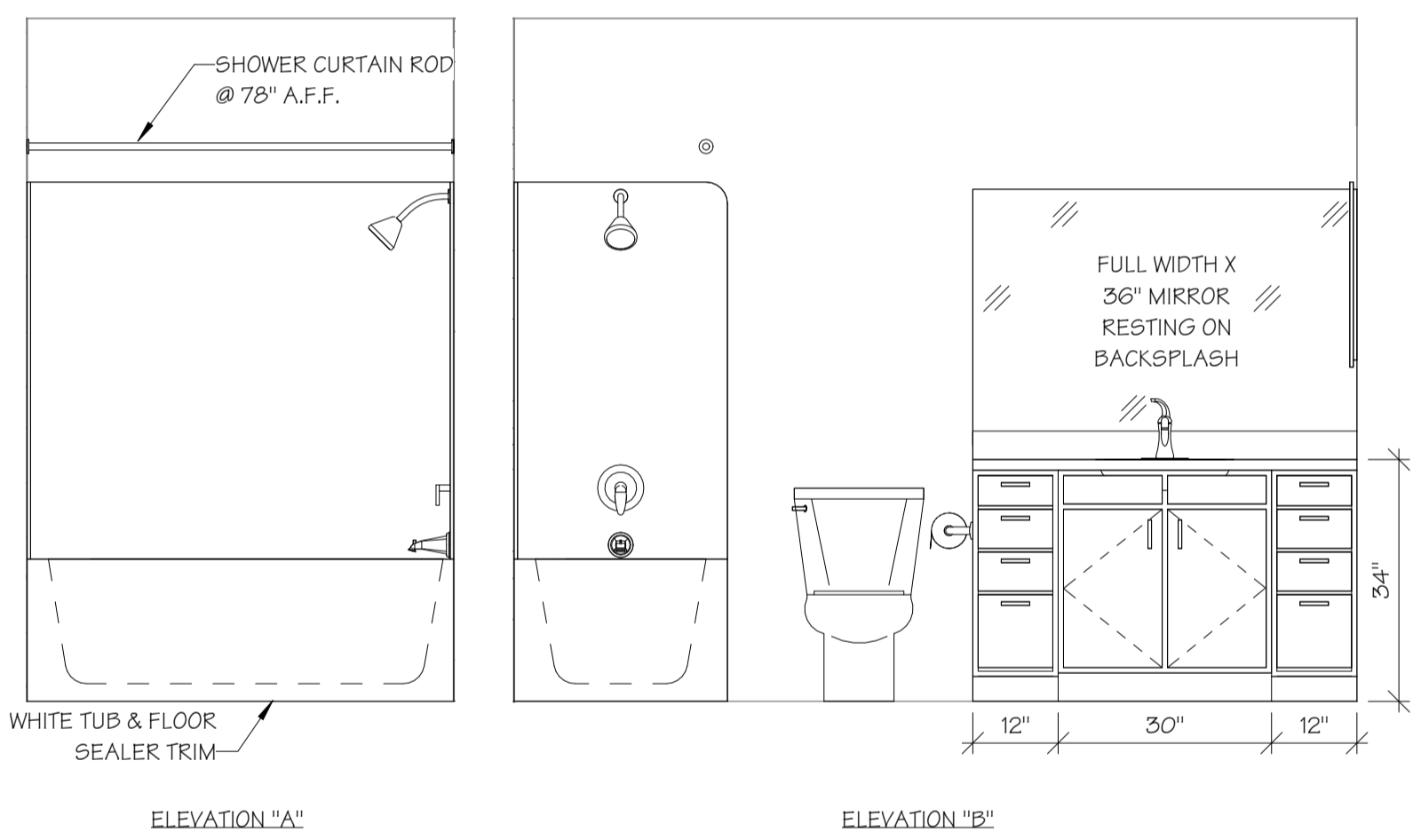
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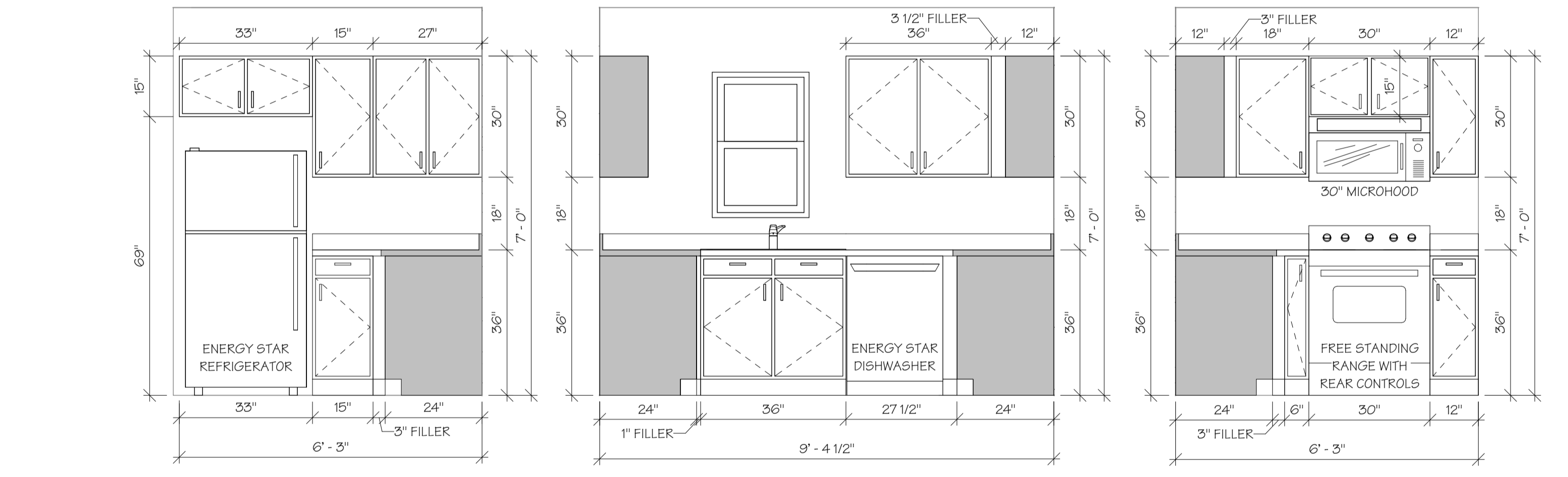
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 A7.2R SCALE: 3/8" = 1'-0"
INTERIOR SIGNAGE DETAIL



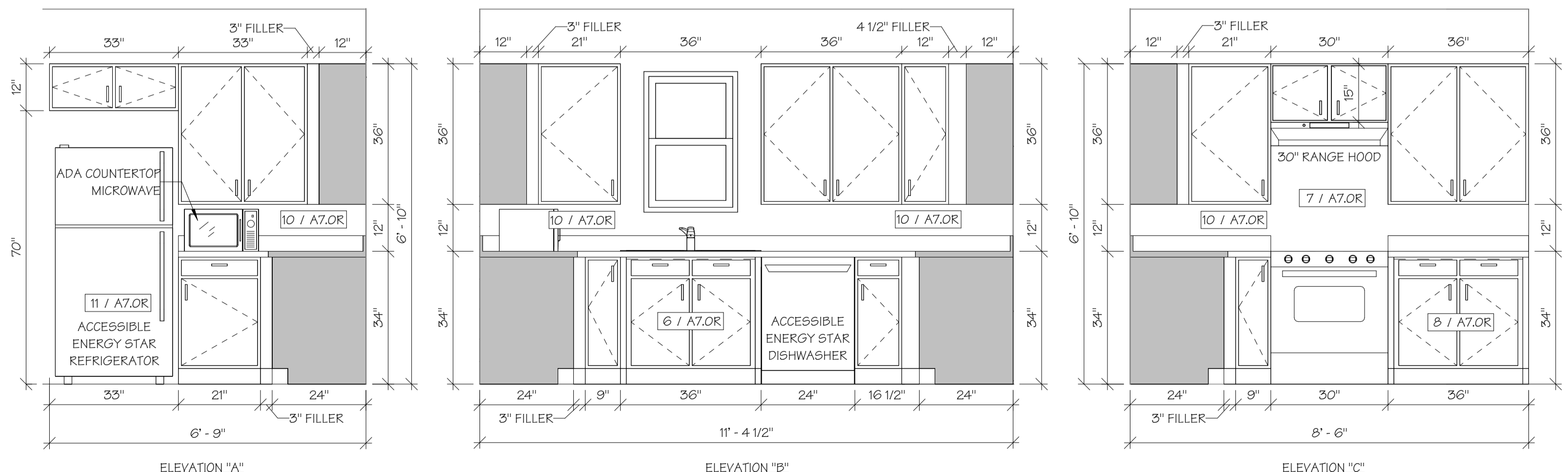
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 A7.2R SCALE: 1/2" = 1'-0"
TYP. 3-BR-A KITCHEN ELEVATIONS



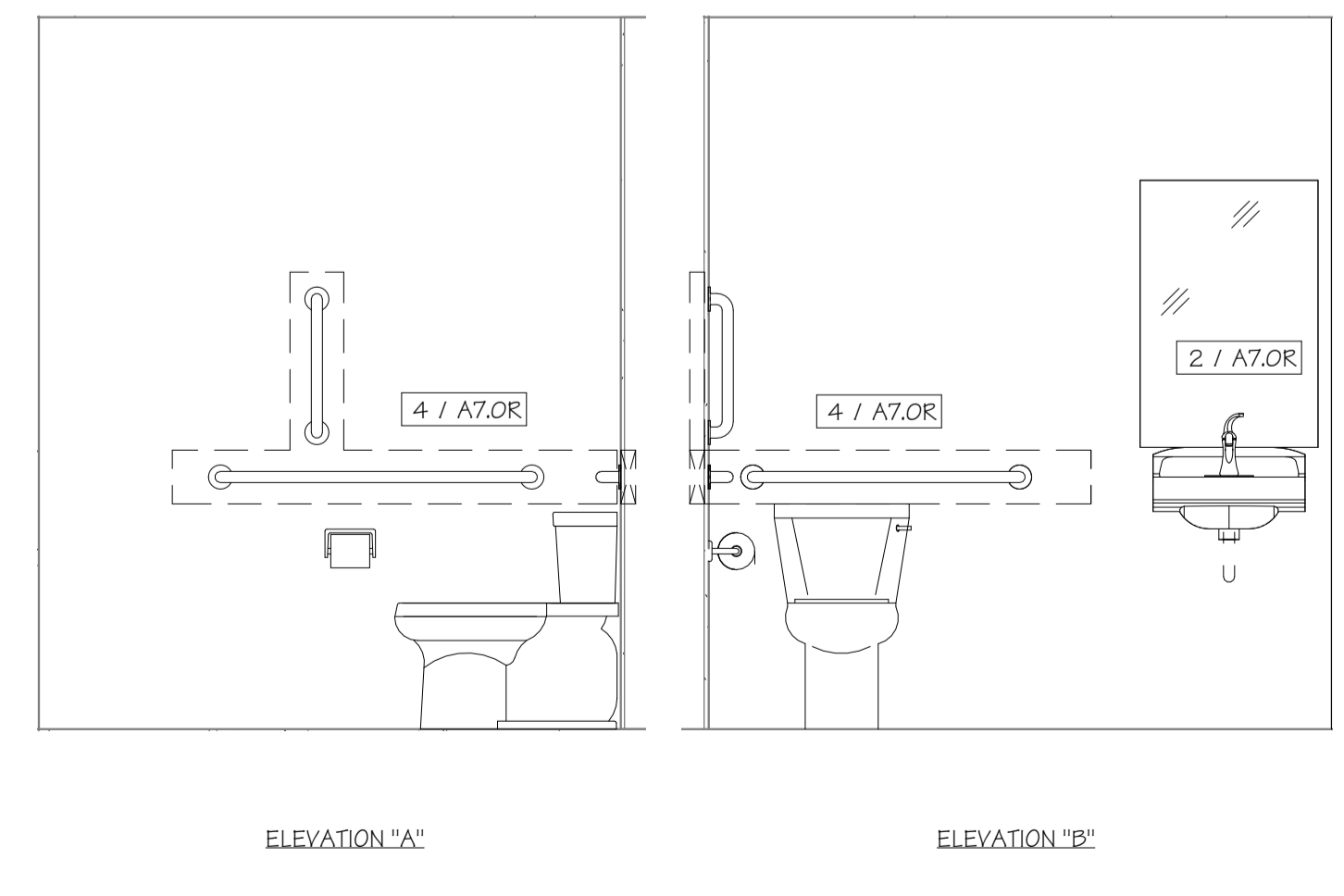
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 A7.2R SCALE: 1/2" = 1'-0"
TYP. 3-BR-A BATH ELEVATIONS



4
 A7.2R SCALE: 1/2" = 1'-0"
TYP. 3-BR-B KITCHEN ELEVATIONS



5
 A7.2R SCALE: 1/2" = 1'-0"
UFAS 3-BR KITCHEN ELEVATIONS



6
 A7.2R SCALE: 1/2" = 1'-0"
OFFICE/LAUNDRY/MAINT/ RESTROOM ELEVATIONS

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
 ARCHITECTS LLC
 Columbia, MO
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HVAC SCHEDULE

MARK	HTG. KW	HTG. BTUH	HTG. EFFICIENCY	HTG. UNIT TYPE	CFM @ 0.5" ESP	ELECTRICAL REQUIREMENTS	COOLING TONS	COOLING EFFICIENCY	COOLING UNIT TYPE	THERMOSTAT	REMARKS
AHU-1	6.0	-	-	UPFLOW ELEC.	-	240V, 1PH, 40A	-	-	-	DIGITAL NON-PROGRAMMABLE	W/ FACTORY-INSTALLED ELECTRICAL DISCONNECT
AHU-2	7.0	-	-	UPFLOW ELEC.	-	240V, 1PH, 50A	-	-	-	DIGITAL NON-PROGRAMMABLE	W/ FACTORY-INSTALLED ELECTRICAL DISCONNECT
AHU-3	9.0	-	-	UPFLOW ELEC.	-	240V, 1PH, 60A	-	-	-	DIGITAL NON-PROGRAMMABLE	W/ FACTORY-INSTALLED ELECTRICAL DISCONNECT
F1	-	40,000	90%	GAS	-	240V, 1PH, 25A	-	-	-	DIGITAL NON-PROGRAMMABLE	W/ FACTORY-INSTALLED ELECTRICAL DISCONNECT
HP1	-	-	8.8 HSPF	-	600	240V, 1PH, 15A	1.5	15.0 SEER/14.3 SEER 2 MIN.	HEAT PUMP	-	R-454B REFRIGERANT
HP2	-	-	8.8 HSPF	-	800	240V, 1PH, 25A	2.0	15.0 SEER/14.3 SEER 2 MIN.	HEAT PUMP	-	R-454B REFRIGERANT
HP3	-	-	8.8 HSPF	-	850	240V, 1PH, 25A	2.5	15.0 SEER/14.3 SEER 2 MIN.	HEAT PUMP	-	R-454B REFRIGERANT

NOTE: HVAC CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR SPECIFIC EQUIPMENT USED AND COORDINATE SAME WITH THE ELECTRICAL CONTRACTOR

HVAC EQUIPMENT

EXHAUST FAN EF-1	EXHAUST FAN W/LIGHT - BROAN #0TXE080, 80 CFM, 0.3 SONES SWITCHED BATH FAN SHALL BE FURNISHED, INSTALLED & WIRED W/ AIR CYCLE SMART EXHAUST BATH FAN/LIGHT ROCKER STYLE TIMER SWITCH BY ELECTRICAL CONTRACTOR. (ENERGY STAR)
RANGE HOOD RH-1	FOR MAKE AND MODEL SEE SPECIFICATIONS, DUCTED 150 CFM MIN. SHALL BE FURNISHED BY GENERAL CONTRACTOR, INSTALLED BY APPLIANCE INSTALLER AND WIRED BY ELECTRICAL CONTRACTOR. (CONNECT TO EXISTING EXHAUST DUCT)
MICROWAVE RANGEHOOD MH-1	FOR MAKE AND MODEL SEE SPECIFICATIONS, DUCTED 150 CFM MIN. SHALL BE FURNISHED BY GENERAL CONTRACTOR, INSTALLED BY APPLIANCE INSTALLER AND WIRED BY ELECTRICAL CONTRACTOR. (CONNECT TO EXISTING EXHAUST DUCT)
REGISTERS AND GRILLES	
(A)	CL.G. / WALL SUPPLY - 14"x4", TITUS 250-AA (3-WAY) GRILLE; WHITE FINISH STEEL MULTI-LOUVER DIFFUSER WITH DAMPER. SEE PLAN FOR SIZE AND LOCATION.
(B)	CL.G. / WALL RETURN AIR - TITUS GRILLE; WHITE FINISH STEEL GRILLE WITH FIXED LOUVERS. SEE PLAN FOR SIZE AND LOCATION. TO MATCH EXISTING.

GENERAL HVAC NOTES

- SUPPLY DUCTS (EXCEPT INSULATED ROUND FLEX DUCT) SHALL BE GALVANIZED AND SHALL HAVE TURNING VANES AND DAMPERS AS REQUIRED. DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS REQUIRED (INSULATION EXTRA). IF ROUND RIGID GALVANIZED SUPPLY DUCTS ARE USED, INSULATION SHALL BE ON EXTERIOR.
- FURNISH AND INSTALL ALL REQUIRED PIPING FROM FURNACES, LINE SETS FROM COILS TO CONDENSING UNITS AND CONDENSATE LINES AS REQUIRED BY MANUFACTURER'S RECOMMENDATIONS, CODES AND/OR INDICATED ON PLANS.
- INTERIOR OF DUCTWORK VISIBLE @ GRILLE/REGISTER OPENING SHALL BE PAINTED FLAT BLACK PRIOR TO PROJECT COMPLETION.
- UNDERCUT BEDROOM DOORS 3/4" FOR RETURN AIR.
- OFFSET DUCTWORK FROM ATTIC ACCESS LOCATION.
- FLEX DUCT SHALL BE USED TO SUPPLY REGISTERS.
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3. PIPING AND FITTINGS FOR REFRIGERANT VAPOR (SUCTION) LINES SHALL BE INSULATED TO A MINIMUM OF R-4 - INSULATION SHALL HAVE EXTERNAL SURFACE PERMEANCE NOT EXCEEDING 0.05 PERMS (ASTM E 96).
- EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- ALL MECHANICAL WORK TO BE IN ACCORDANCE/COMPLIANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE
- MECHANICAL CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT INDICATES HEATING AND COOLING SYSTEM WAS DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUAL J, D & S
- ALL CONNECTIONS AND JOINTS IN DUCTS SHALL BE SEALED WITH UL 181 DUCT TAPE/MASTIC/GASKET
- AIR HANDLERS MUST BE COMPATIBLE WITH CONDENSING UNITS IN ORDER TO MAINTAIN SPECIFIED OPERATING EFFICIENCIES. ACCEPTABLE MANUFACTURERS ARE GOODMAN, CARRIER, LENNOX, RUUD, TRANE OR YORK.
- NO HVAC TO BE PLACED WITHIN UNIT SEPARATION WALLS.
- ALL ELECTRICAL DEVICES AND ENVIRONMENTAL CONTROLS TO BE MOUNTED BETWEEN 15" AND 48" A.F.F.
- PROVIDE & INSTALL FILTER RACK FOR 1 INCH FILTER IN RETURN INLET OF FURNACE AT SUBSTANTIAL COMPLETION.
- PROVIDE & INSTALL GRADE MOUNTED EQUIPMENT PAD.
- PROVIDE & INSTALL THERMOSTAT W/CONTROLS THAT ARE USER FRIENDLY TO ADJUST & EASY TO READ.
- HVAC REGISTERS MUST BE COVERED DURING CONSTRUCTION.
- HVAC CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR SPECIFIC EQUIPMENT USED AND COORDINATE THOSE REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR.

FIRESTOP CAULKING NOTE

PROVIDE FIRESTOP CAULKING / SEALING OF ALL MECHANICAL PENETRATIONS @ FIRE RATED WALLS AND CEILING PER A SPECIFIC FIRESTOP SYSTEM / PRODUCT.

SLAB PENETRATION NOTE

ANY EXPOSED PENETRATIONS OF CONCRETE SLAB DURING REHAB SHALL BE EFFECTIVELY SEALED TO PREVENT PASSAGE OF AIR FROM UNDER SLAB INTO RESIDENTIAL UNITS. ALL PENETRATIONS IN OR THROUGH A RATED ASSEMBLY SHALL COMPLY WITH SECTION 712 OF THE IBC.

PENETRATION NOTE

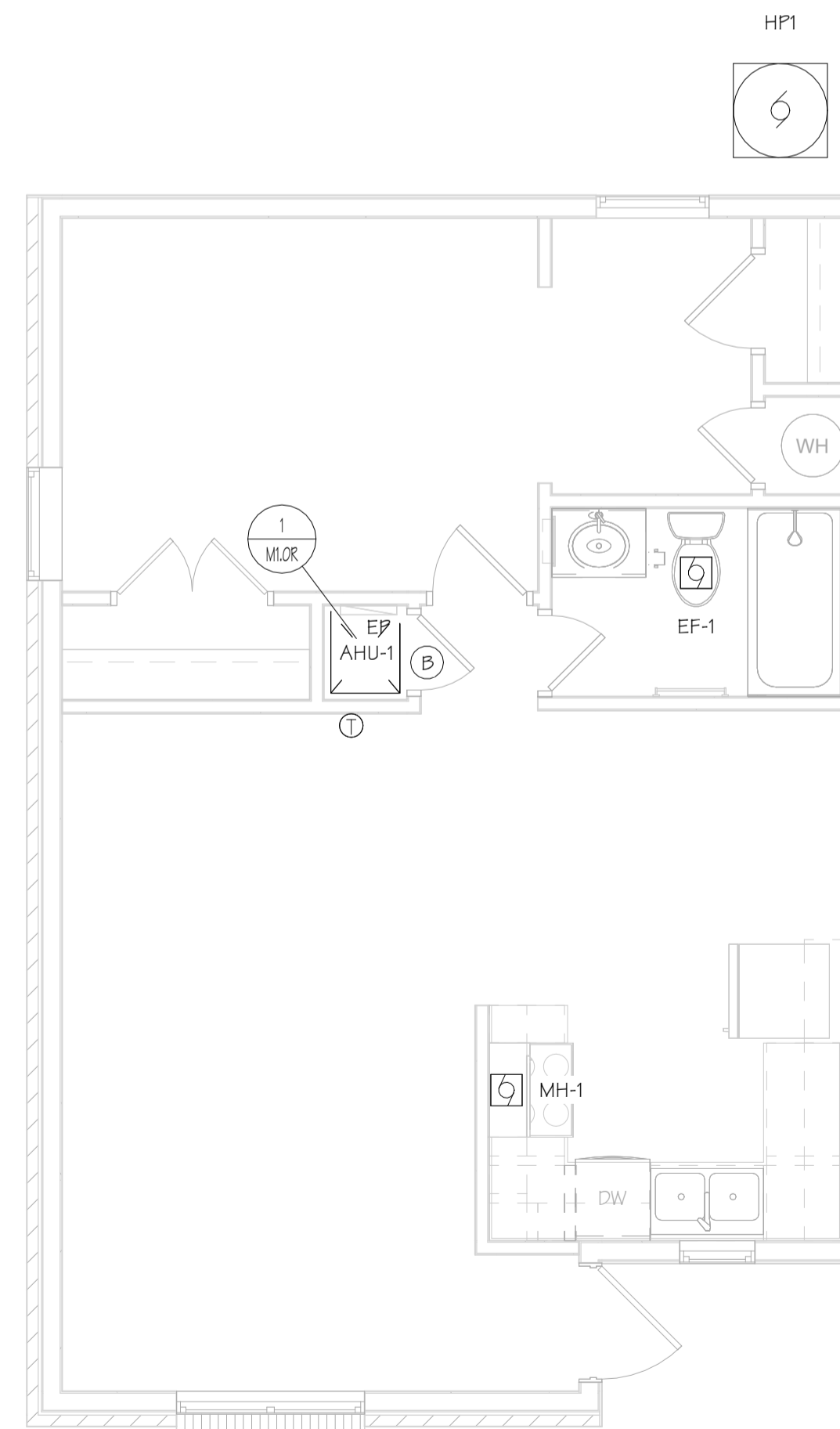
ALL PENETRATIONS OF FLOORS, WALLS AND CEILINGS BY HVAC COMPONENTS (DUCTS, PIPING, GRILLES), PLUMBING COMPONENTS (PIPING, CLEAN-OUTS, VALVES), ELECTRICAL COMPONENTS (BOXES, WIRING, CONDUIT), ETC. SHALL BE PROPERLY AND EFFECTIVELY SEALED DURING CONSTRUCTION WITH PROPER MATERIALS AND NEATLY FINISHED. GYPSUM BOARD COMPOUND SHALL BE USED @ GYP. BD. OPENINGS, EXCEPT THAT EXPANDABLE FOAM MAY BE USED IN AREAS SUCH AS MECHANICAL ROOMS. MORTAR SHALL BE USED @ BRICK PENETRATIONS. CHROME ESCUTCHEONS SHALL BE USED @ PLUMBING PIPING PENETRATION OF WALLS. THE USE OF CAULKING AND PAINT @ THE TIME OF PUNCHLIST INSPECTIONS WILL NOT BE DEEMED ACCEPTABLE IN LIEU OF THE ABOVE.

HVAC KEYNOTES

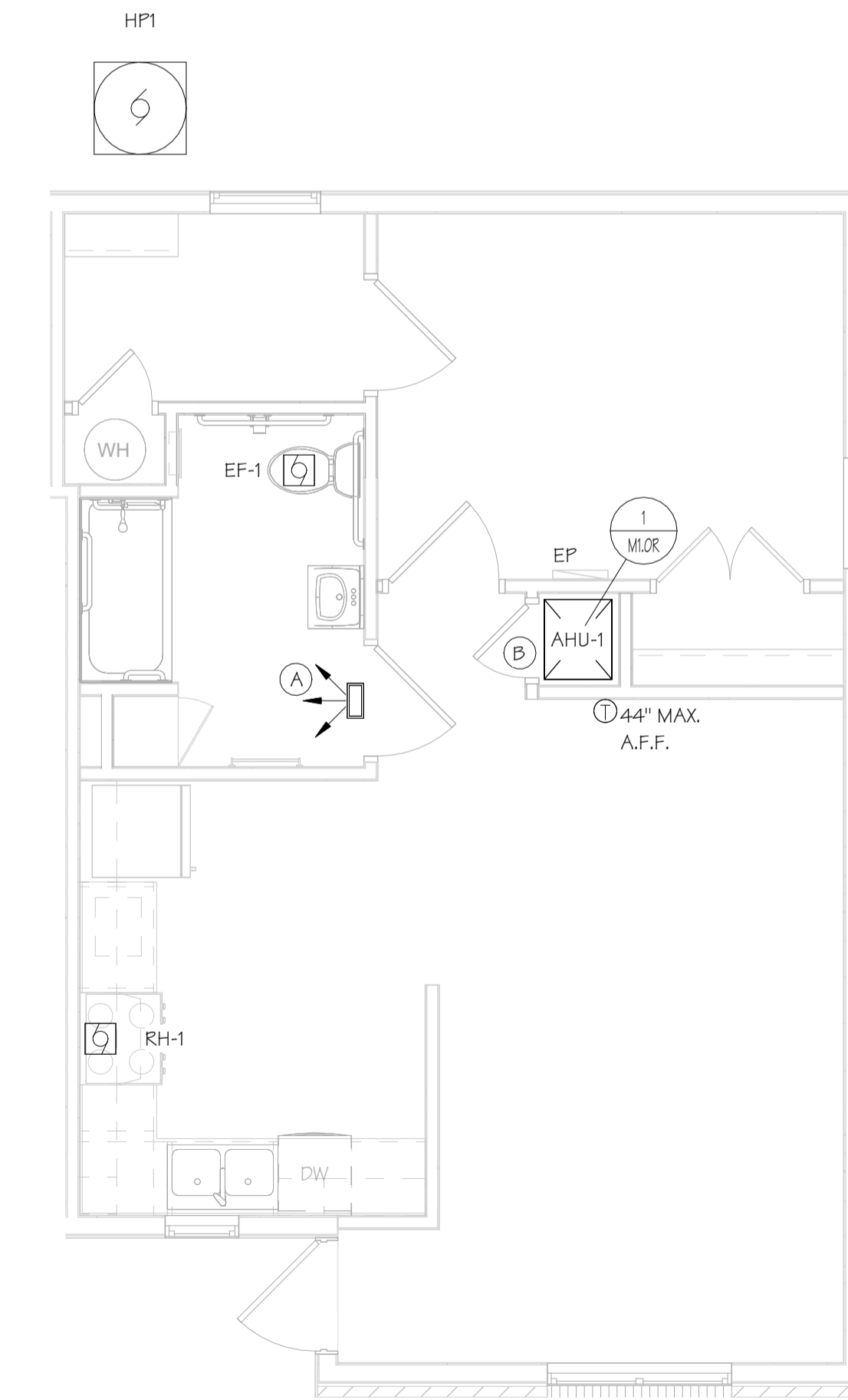
- REMOVE EXISTING AND INSTALL NEW ELECTRIC UPFLOW AHU'S WITH INTEGRAL DISCONNECTS, 8.8 HSPF/15 SEER/14.3 SEER 2 AIR SOURCE HEAT PUMP, INCLUDING NEW LINE SETS AT THE UNIT MECHANICAL CLOSETS. ROUTE NEW CONDENSATE LINES TO EXISTING DISCHARGE LOCATION OR FLOOR DRAINS AS ALLOWED BY AHJ
- REMOVE EXISTING GAS FURNACE, FLUE PIPING/COMMON VENT/COMBUSTION AIR DUCTWORK AND INSTALL NEW 90% H.E. GAS FURNACE AT THE OLM, DISCONNECTS, SCHEDULE 40 PVC FLUE & COMBUSTION AIR PIPING WITH CONCENTRIC VENT TERMINATION KIT THRU THE ROOF. REMOVE EXISTING CONDENSING UNIT AND INSTALL NEW HEAT PUMP (15 SEER/14.3 SEER 2) NEW LINE SETS; ROUTE NEW CONDENSATE LINES TO EXISTING DISCHARGE LOCATION OR FLOOR DRAINS AS ALLOWED BY AHJ. INFILL THE EXISTING CEILING AND ROOF PENETRATIONS TO MATCH THE EXISTING ASSEMBLY
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LEGEND

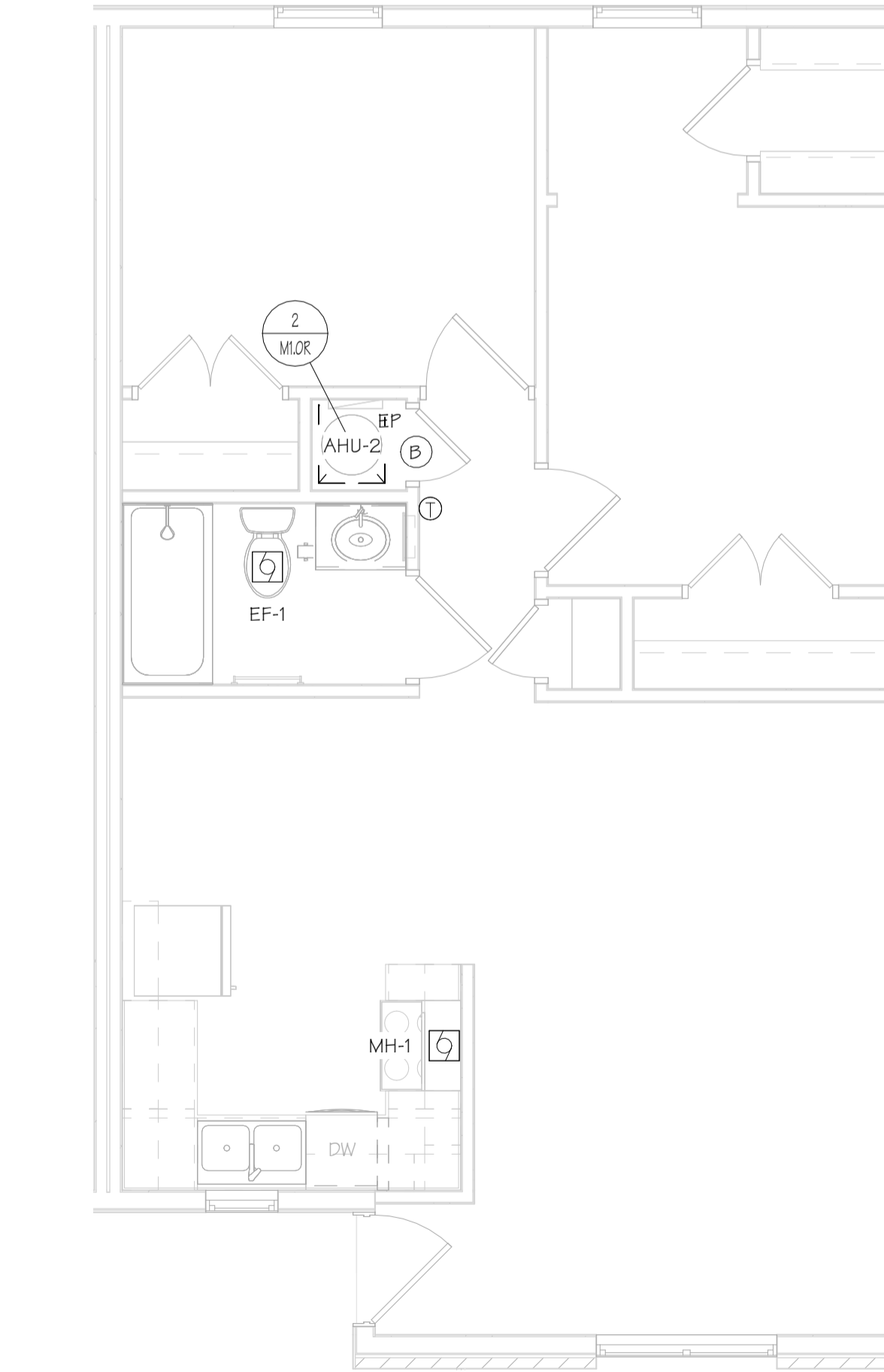
	SUPPLY AIR GRILLE
	EXHAUST FAN
	FLEX DUCT
	RIGID DUCT
	SMOOTH METAL INSUL. DUCT
	LOUVERED VENT W/ BIRDSCREEN
	THERMOSTAT
	RADIATION FIRE DAMPER
	CEILING RETURN AIR GRILL
	RETURN AIR GRILL



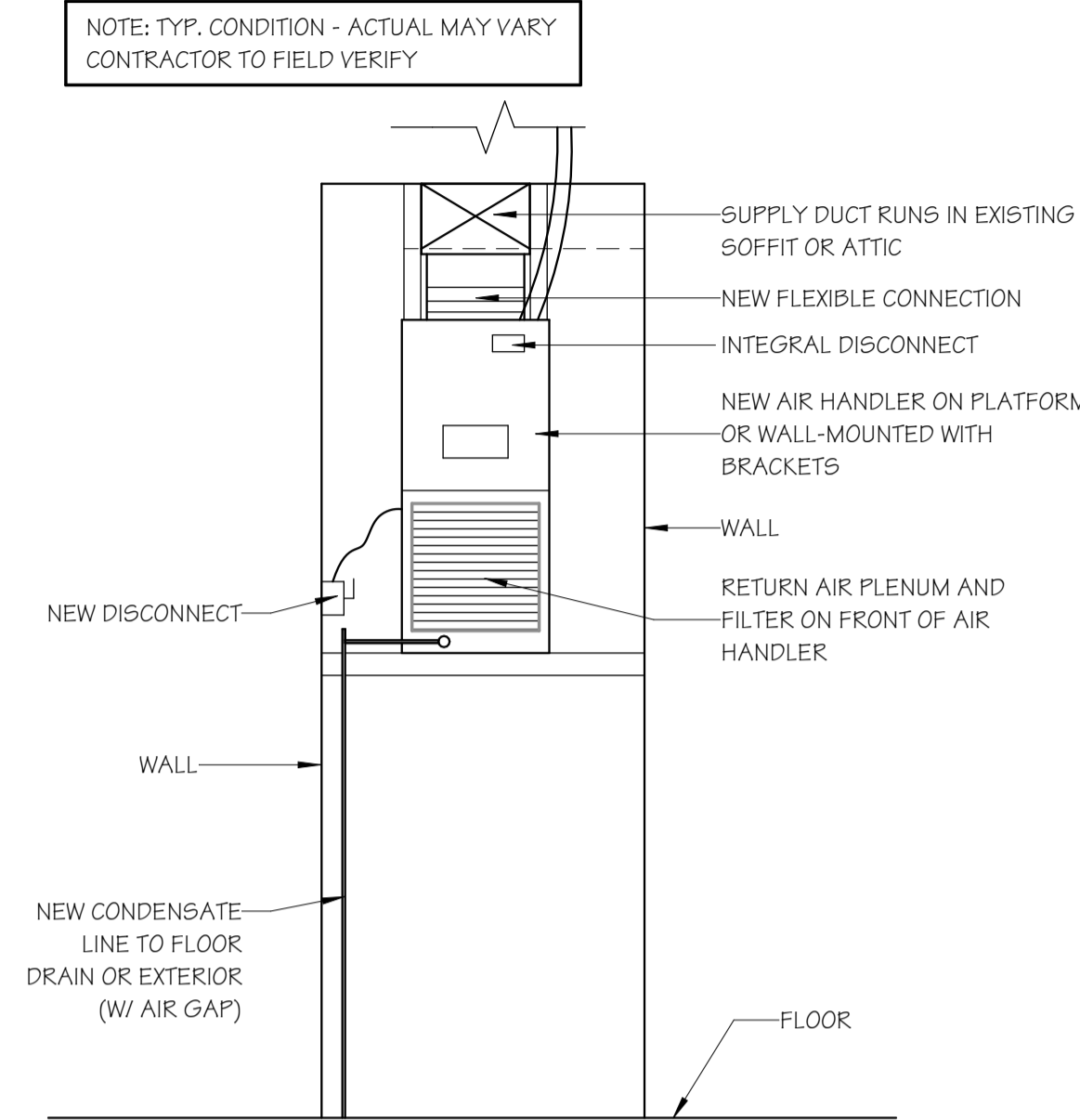
TYP. 1-BR HVAC PLAN



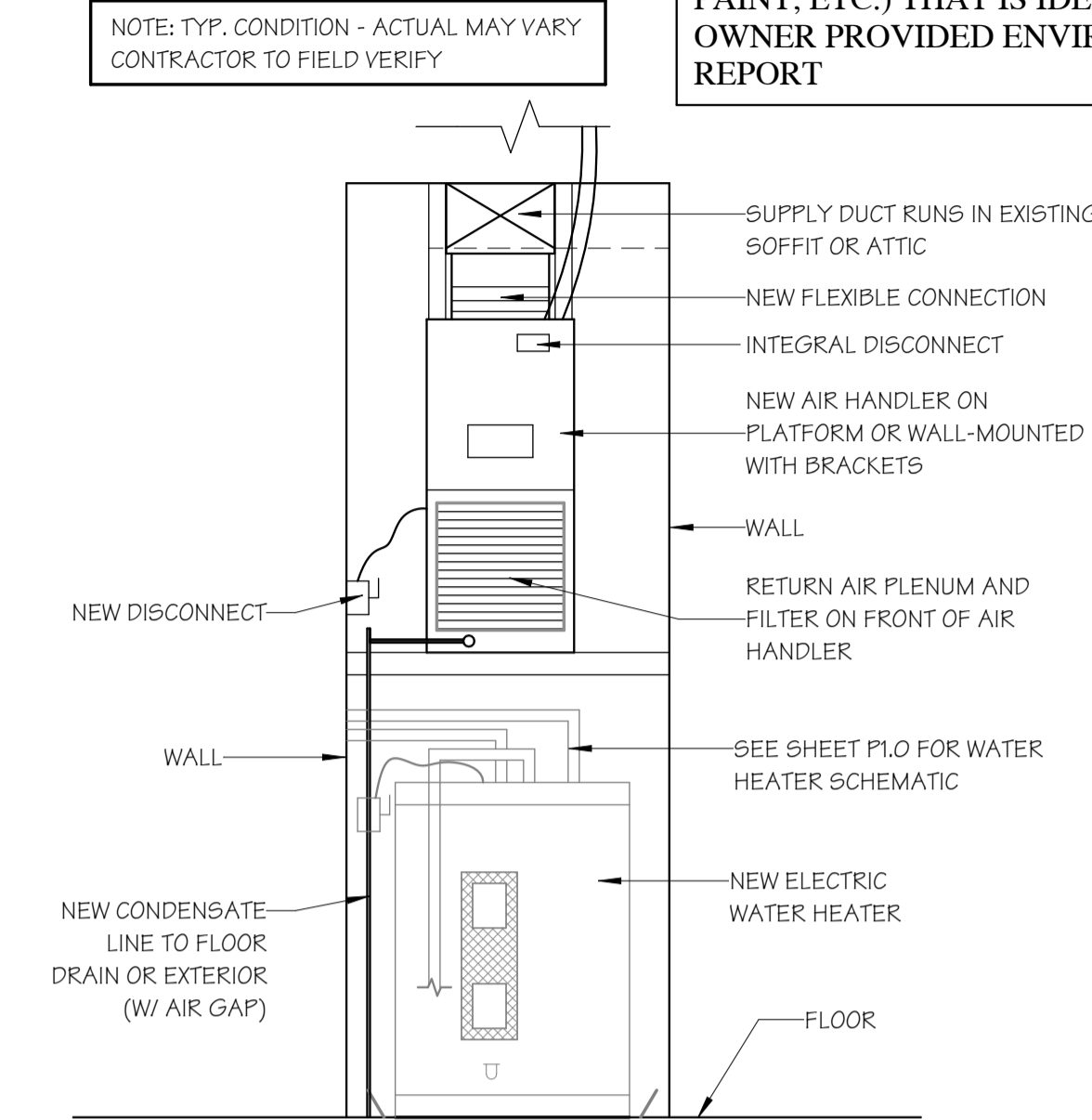
UFAS 1-BR HVAC PLAN



TYP. 2-BR HVAC PLAN



ELECTRIC AHU ABOVE



ELECTRIC AHU ABOVE WATER HEATER SCHEMATIC

NOTES:
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MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT



31 OCT 2024
MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
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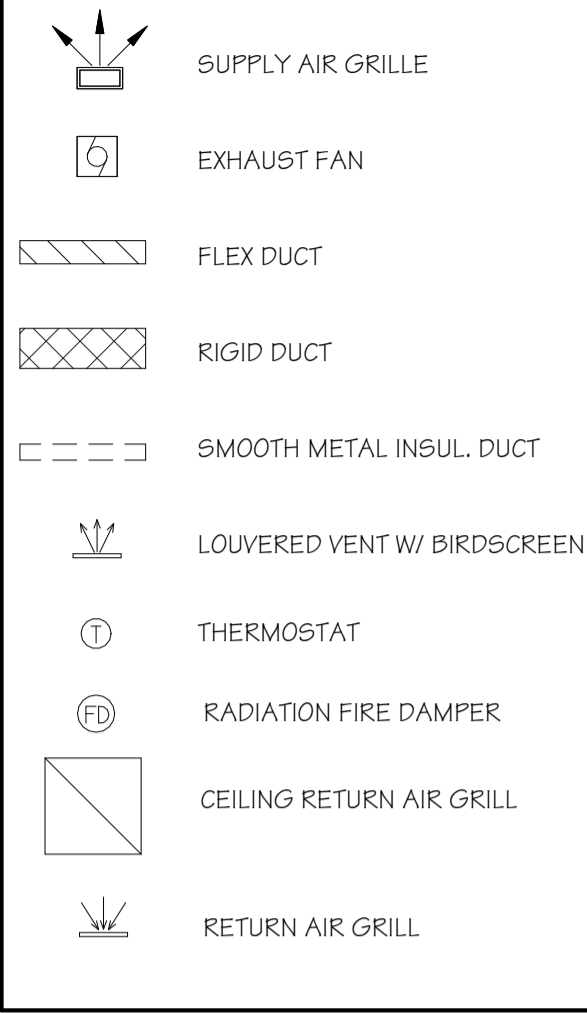
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HVAC KEYNOTES

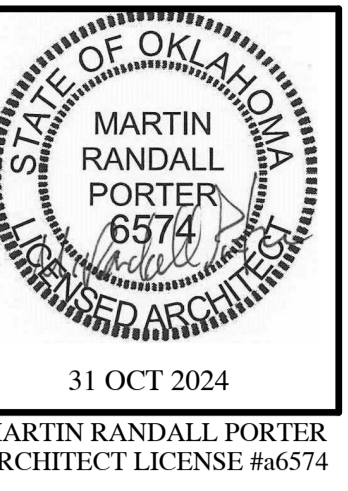
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LEGEND

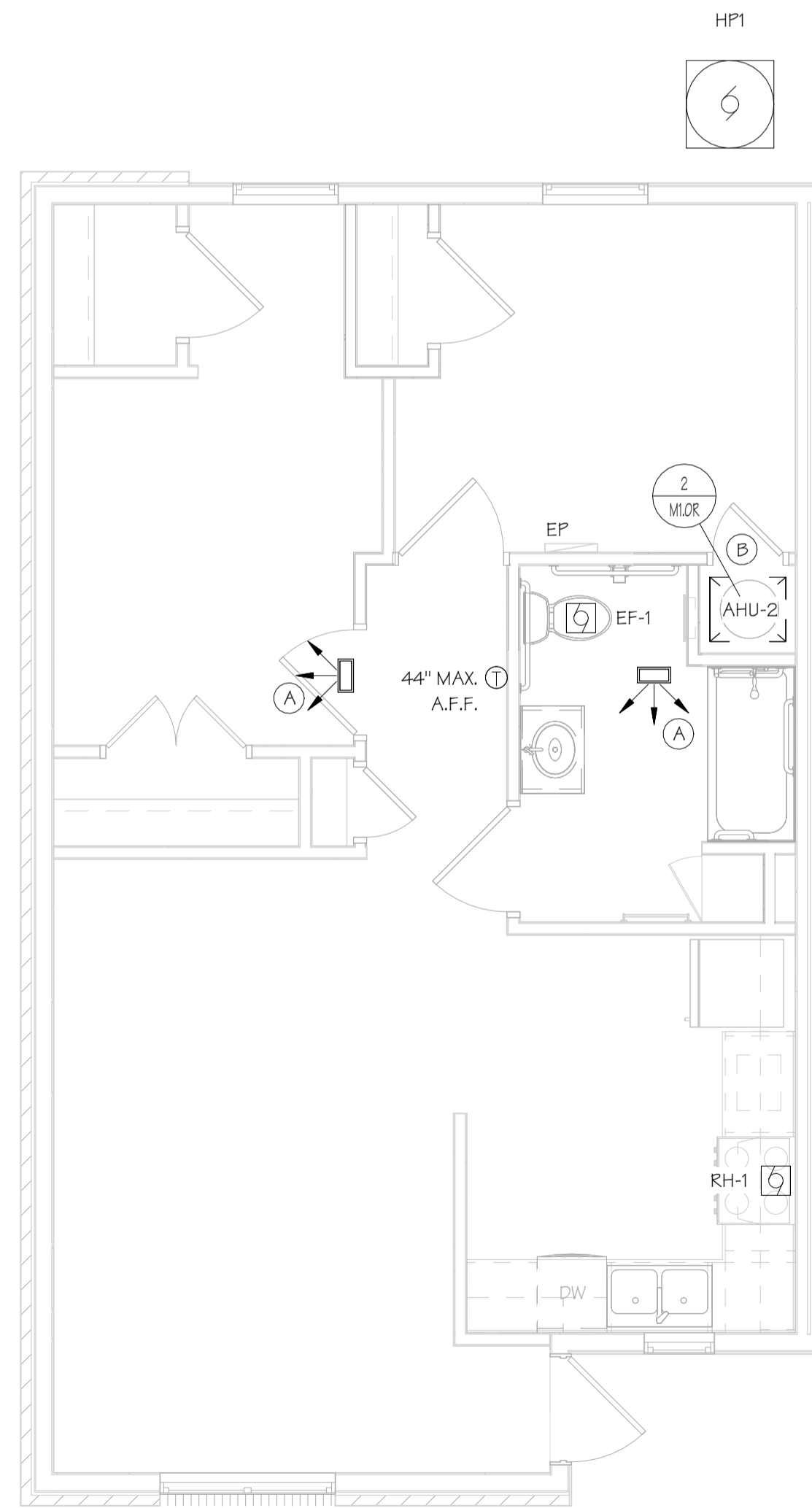


SEE SHEET M1.0R FOR HVAC SCHEDULES, NOTES & DETAILS

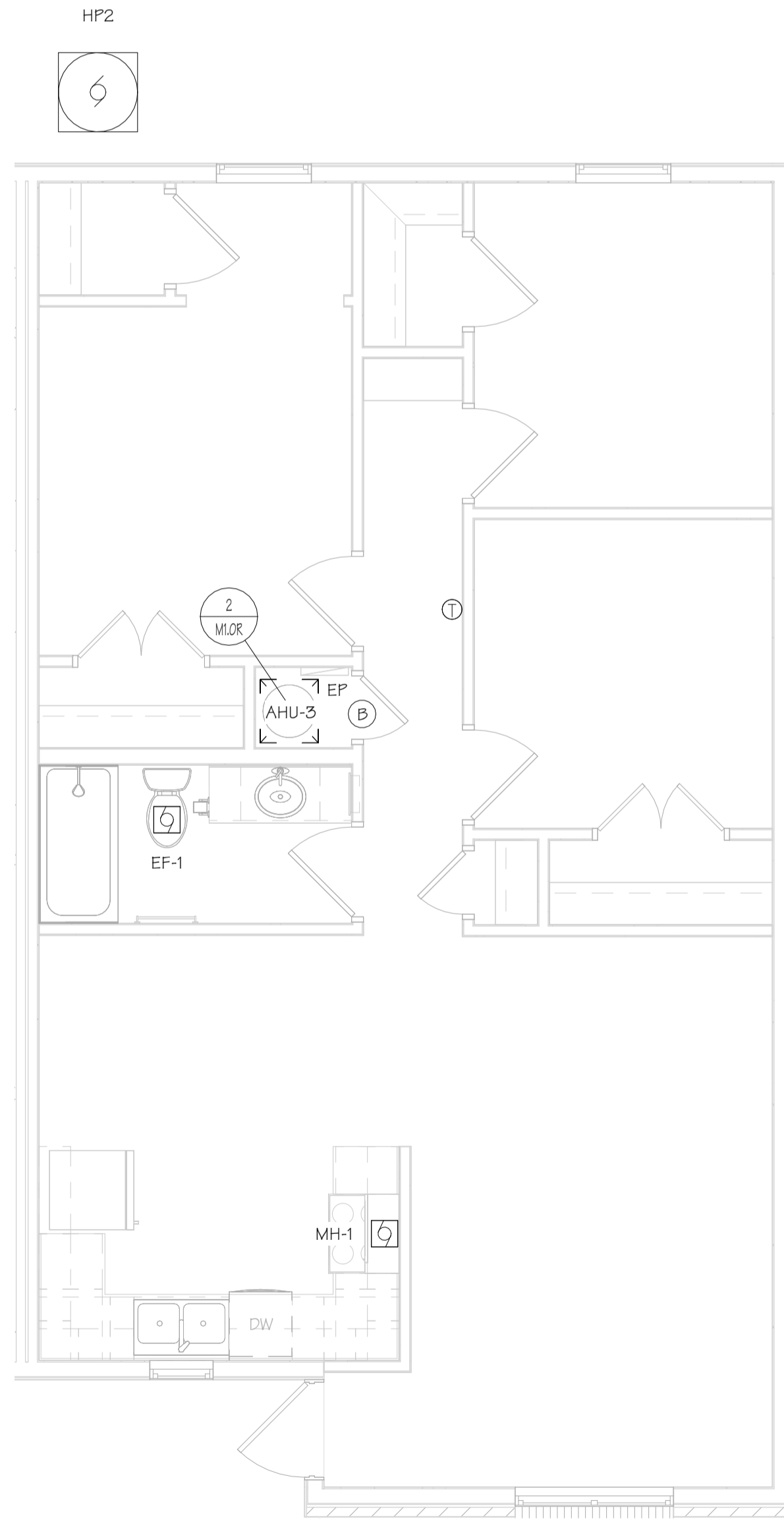
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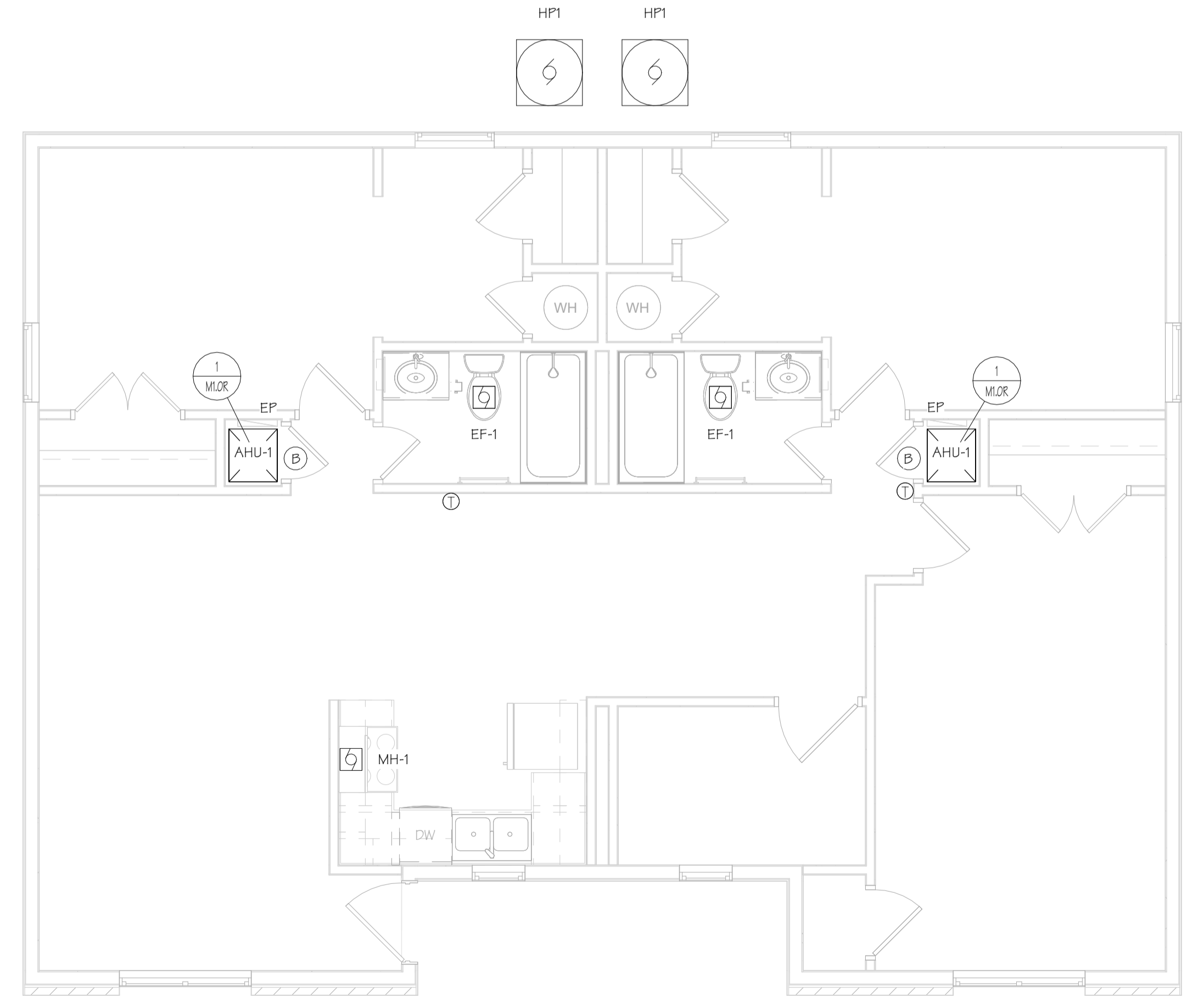
RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



1
 M1.1R SCALE: 1/4" = 1'-0"



2
 M1.1R SCALE: 1/4" = 1'-0"



3
 M1.1R SCALE: 1/4" = 1'-0"



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HVAC KEYNOTES

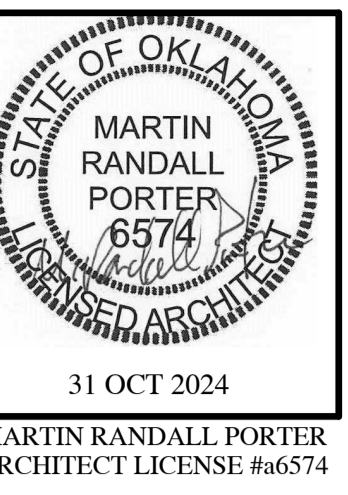
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LEGEND



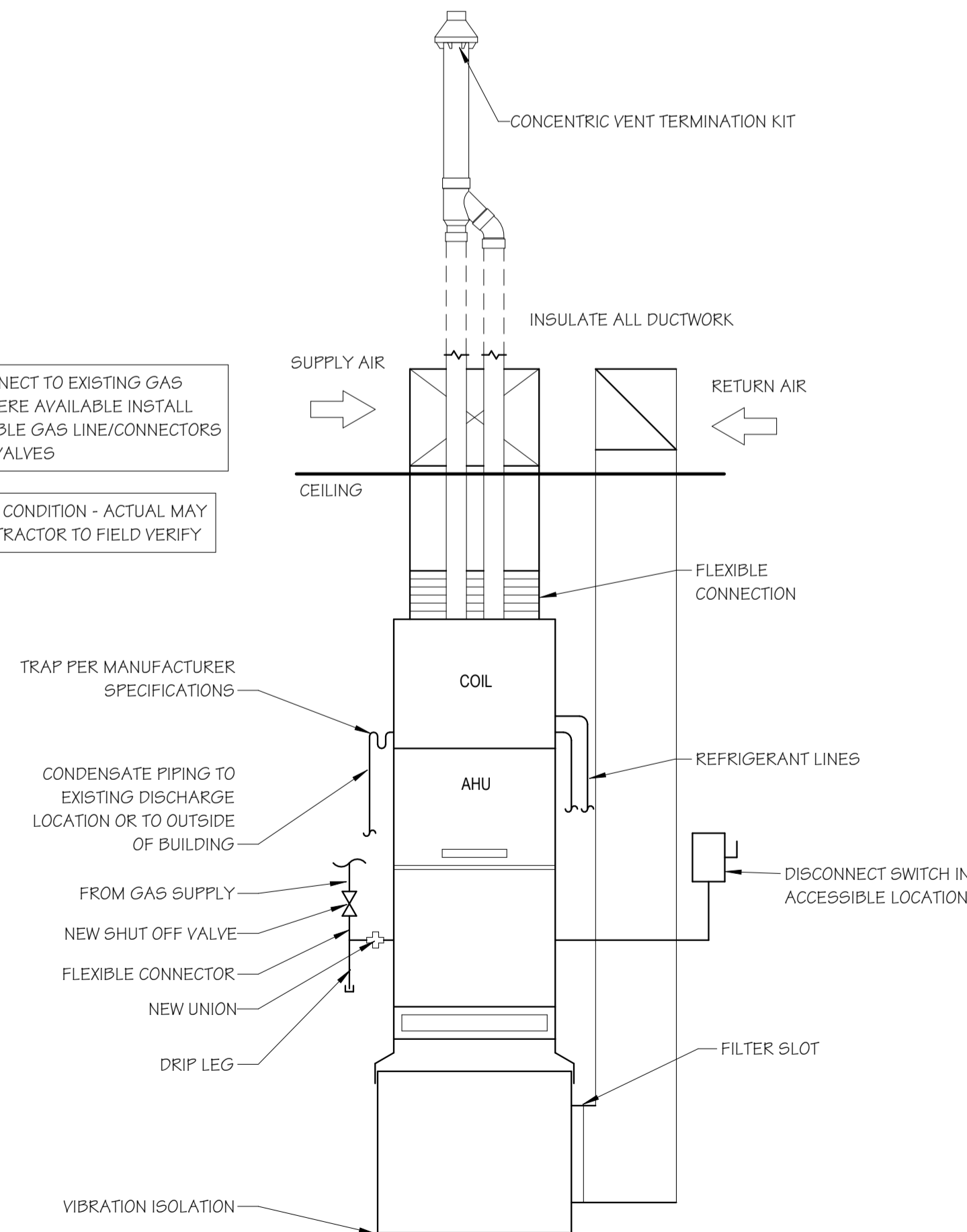
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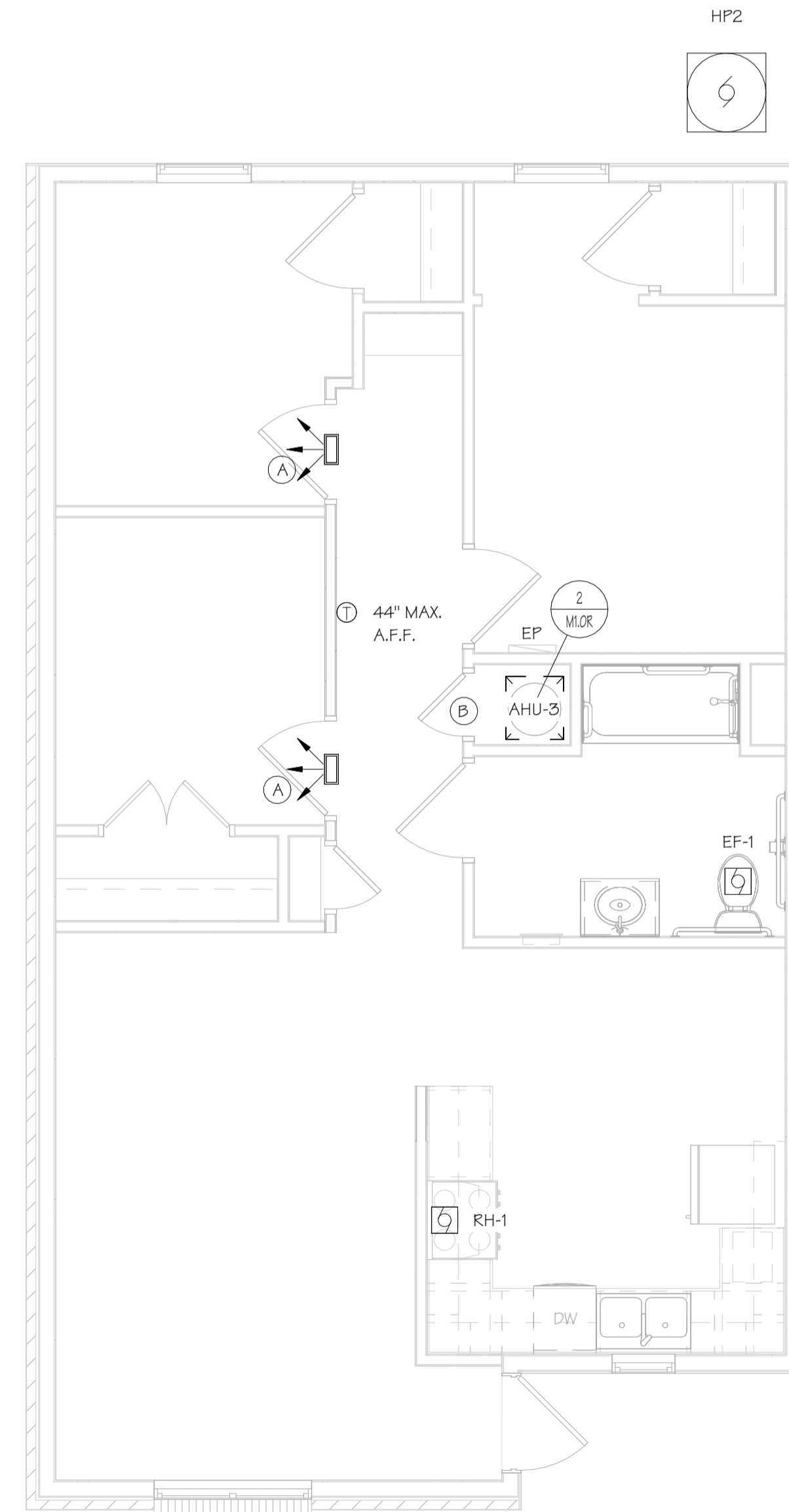


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 CHICKASHA, GRADY COUNTY, OKLAHOMA

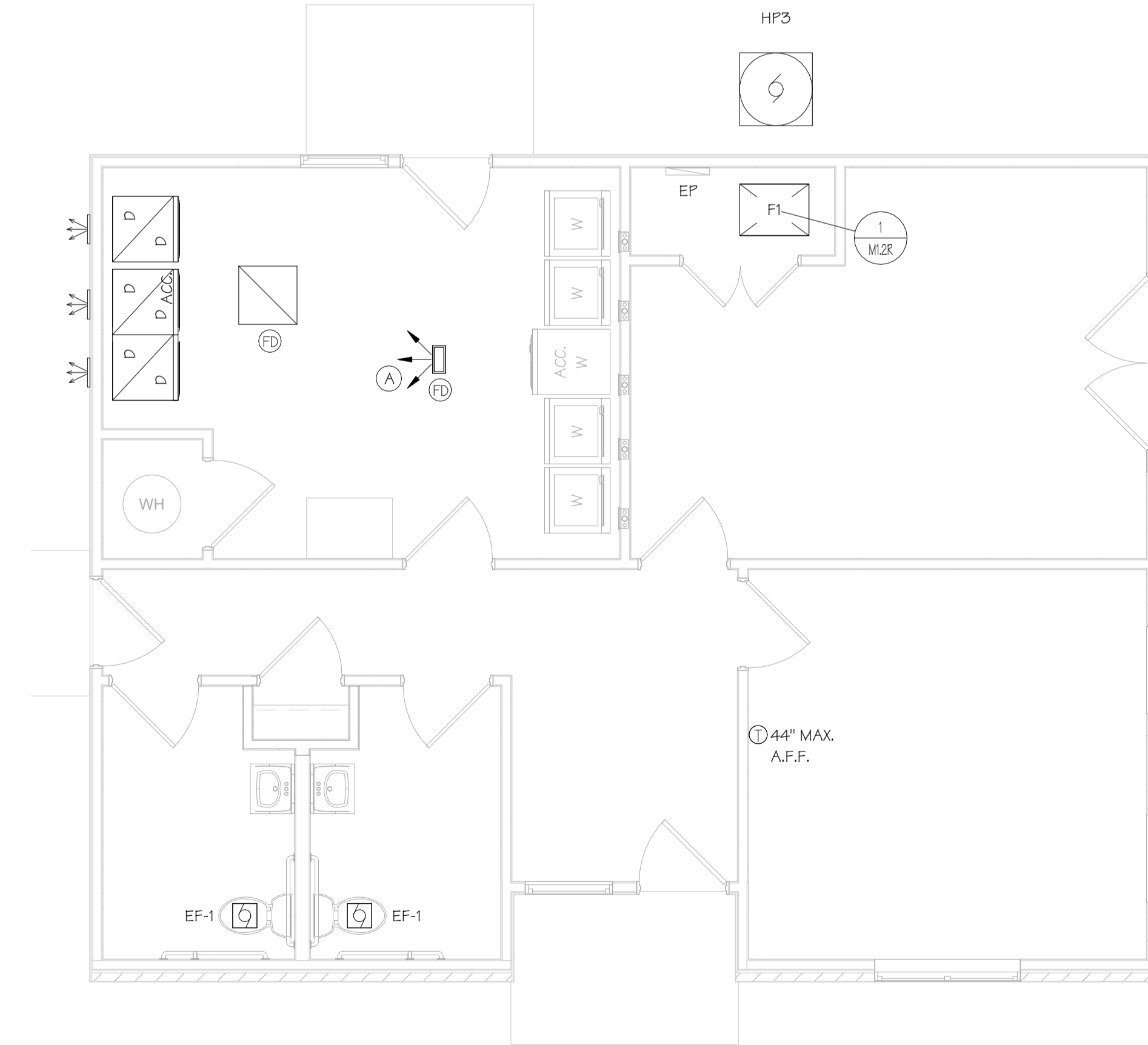
NOTE: CONNECT TO EXISTING GAS PIPING WHERE AVAILABLE INSTALL NEW FLEXIBLE GAS LINE/CONNECTORS AND NEW VALVES
 NOTE: TYP. CONDITION - ACTUAL MAY VARY CONTRACTOR TO FIELD VERIFY



1 HIGH EFFICIENCY GAS FURNACE SCHEMATIC
 M1.2R SCALE: 3/4" = 1'-0"



2 UFAS 3-BR HVAC PLAN
 M1.2R SCALE: 1/4" = 1'-0"



3 OFFICE/LAUNDRY/MAINT. HVAC PLAN
 M1.2R SCALE: 1/4" = 1'-0"

Wallace
 ARCHITECTS LLC
 Columbia, MO
 P 573-256-7200

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PLUMBING FIXTURE SCHEDULE

MARK	ITEM	MFG	CAT. NO.	SUPPLY	FEED	WASTE	VENT	REMARKS
1	WATER CLOSET (ACCESSIBLE)	MANSFIELD	135-3173	LEVER HANDLE, 1/4 TURN, BRASS VALVE STOPS & ESCUTCHEON	1/2"	3"	2"	SMART HEIGHT UFAS COMPLIANT, ELONGATED FRONT, VITREOUS CHINA, TWO PIECE TOILET WITH HIGH IMPACT, HEAVY DUTY CLOSED FRONT SEAT AND LID. PROVIDE PROFLO TANK, MODEL #PF6113WH. WATER SENSE COMPLIANT, 1.28 GPF MAX. INSTALL PROFLO TOILET SEAT, MODEL #PF792000WH.
2	LAVATORY FAUCET	PRO FLO	PFWSC3016CP	-	-	-	-	4" CENTER SET BATHROOM SINK FAUCET. POLISHED CHROME, LEVER CONTROL, 3-HOLES. LESS THAN 2.0 GPM MAX. (WATER SENSE LABELED)
3	DROP-IN LAVATORY	PRO FLO	PF20174WH	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	1/2"	2"	1 1/2"	20" X 17" OVAL, DROP-IN, SELF-RIMMING VITREOUS CHINA. INSTALL WATER SENSE LABELED FAUCET
4	LAVATORY (WALL-HUNG)	KOHLER	K-2032	LEVER HANDLE, 1/4 TURN, BRASS VALVE STOPS & ESCUTCHEON	1/2"	2"	1 1/2"	20" X 18" WALL-HUNG, VITREOUS CHINA LAVATORY. INSTALL WATER SENSE LABELED FAUCET. INSTALL TRAP WRAP / PIPE WRAP
5	KITCHEN FAUCET	PEERLESS	P115LF	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	1/2"	1 1/2"	1 1/2"	POLISHED CHROME, LEVER CONTROL, W/ SPRAY, 4 HOLE, LESS THAN 2.0 GPM MAX.
6	KITCHEN SINK (TYPICAL)	DAYTON	KJ23322	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	1/2"	2"	1 1/2"	22"X33" DBL. BOWL SINK, 4-HOLES
7	KITCHEN SINK (ACCESSIBLE)	ELKAY	ECT5RAD3322T6G	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	1/2"	2"	1 1/2"	33" X 26" X 6" EQUAL DOUBLE BOWL, DUAL MOUNT, ADA SINK KIT, 4-HOLES
8	GARBAGE DISPOSAL	INSINKERATOR	BADGER	-	-	2"	1 1/2"	1/2 HP FOOD WASTE DISPOSER
9	SHOWER FAUCET TRIM KIT	PROFLO	PF5230GCP	SCREWDRIVER STOPS	-	-	-	POLISHED CHROME, ROUND FLANGE, LEVER CONTROL, ADA COMPLIANT, SHOWERHEAD LESS THAN 2.0 GPM. MAX. (WATER SENSE LABELED)
10	TUB / SHOWER	OASIS	T53P-6032FH	SCREWDRIVER STOPS	1/2"	2"	1 1/2"	60"X32"X76Q25" THREE PIECE TUB / SHOWER WITH SLIP RESISTANT BOTTOM WITH POP-UP DRAIN, MOEN LEVER FAUCET, SINGLE HANDLE, AND WATER SENSE COMPLIANT 2.0 GPM MAX. SHOWERHEAD
11	TUB/SHOWER (ACCESSIBLE)	OASIS	T53P-6030/AB/ANS-09-REM	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	1/2"	2"	1 1/2"	60"X30"X76.25" TUB/SHOWER WITH SLIP RESISTANT BOTTOM. 3-PIECE FIBERGLASS SURROUND WITH ABOVE FLOOR DRAIN. FACTORY GRAB BAR REINFORCEMENT WITH FACTORY INSTALLED GRAB BARS AND WALL-MOUNTED SEAT. OFF-SET VALVE CONTROL 48" MAX. A.F.F. PEERLESS LEVER HANDLE TUB/SHOWER #PT118753 WITH PEERLESS HANDHELD SHOWER SET. 27" SLIDE/GRAB BAR AND 60" ULTRA FLEX HOSE, WATER SENSE 1.5 GPM MAX. CHROME TUB VALVE AND TRIM.
12	WATER HEATER (30 GAL.)	RHEEM	XE3050065T4U1	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	3/4"	-	-	LOW BOY, 30 GAL. ELEC. WATER HEATER, 30" H, 19 3/4" DIA. 0.93 UEF, 4500 WATT UPPER AND LOWER HEATING ELEMENTS
13	WATER HEATER (50 GAL.)	RHEEM	XG50T09HE40U0	LEVER HANDLE, 1/4 TURN, BRASS VALVE HANDLE STOPS & ESCUTCHEON	3/4"	-	-	TALL, 50 GAL. GAS WATER HEATER, 59-1/4" H, 21-1/2" DIA., 40,000 BTU RATING
14	FLOOR DRAIN	CRESLINE	-	-	-	2"	-	FLUSH EXISTING DRAIN, INSTALL NEW GRATE; ADJUST TO FLUSH WITH NEW FLOORING
15	WASHER BOX	DU-ALL	W2700	LEVER HANDLE VALVES	1/2"	2"	1 1/2"	PLASTIC RECESSED INTO WALL, INSTALL HAMMER ARRESTORS.
16	EXPANSION TANK	AMTROL ST-5	-	-	-	-	-	

NOTE: CONTRACTOR SHALL INSTALL MR. GYP. BD. ABOVE & BESIDE TUB/SHOWER OVER LIP (WHERE DAMAGED MATERIAL IS REPLACED)

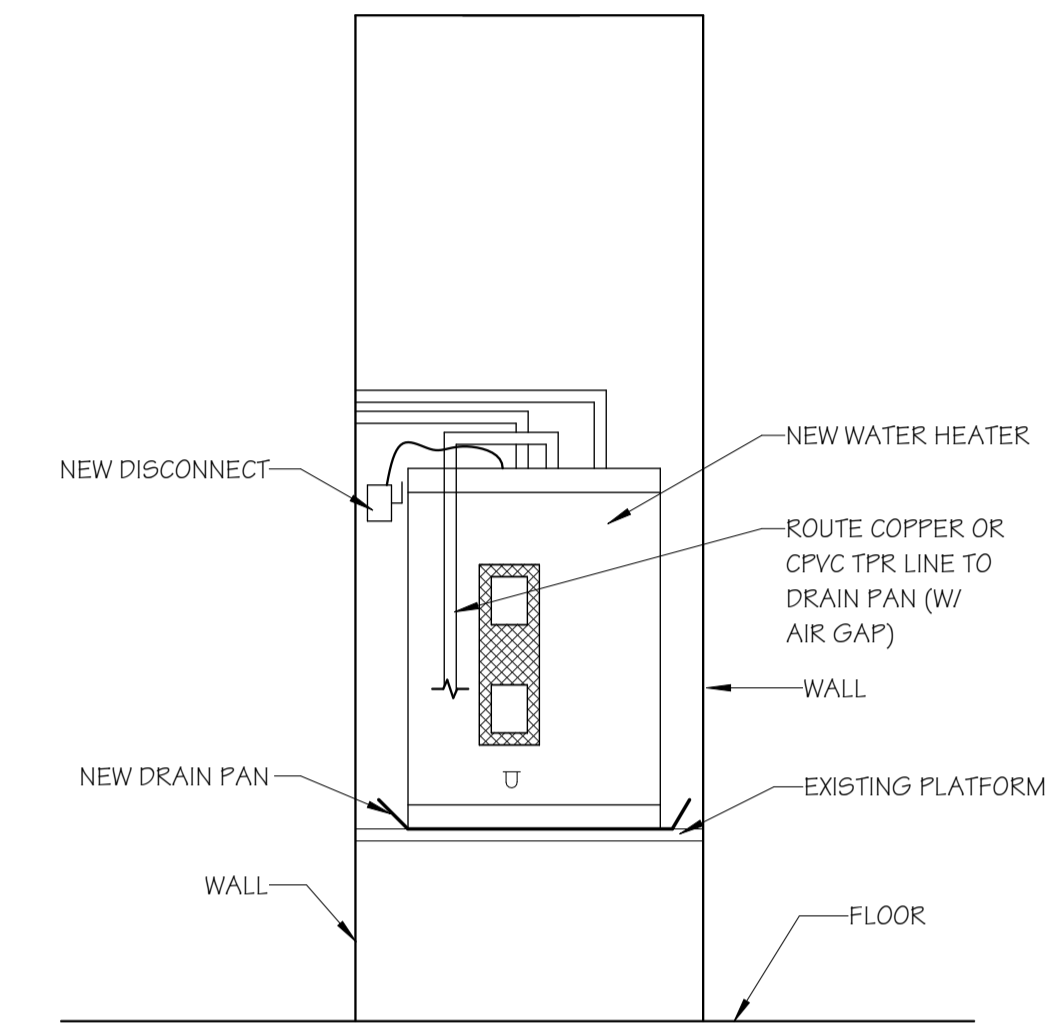
NOTE: CONTRACTOR MAY ELECT TO PROVIDE "OR EQUAL" FIXTURES TO THOSE SPECIFIED/LISTED UPON APPROVAL BY OWNER/ARCHITECT

PLUMBING KEYNOTES

- P1 SCOPE EXISTING SEWER LINES FROM EACH UNIT/BUILDING TO MAIN, JET AS REQUIRED TO CLEAR ANY OBSTRUCTION; PROVIDE RESULTS REPORT TO OWNER/ARCHITECT
- P2 INSTALL NEW WATER SHUTOFF VALVE IN NEW IN-GROUND VALVE-BOX BOX AT WATER SERVICE ENTRY TO EACH UNIT/BUILDING; WHERE NEW FIXTURES ARE INSTALLED, REMOVE EXISTING AND INSTALL NEW VALVE STOPS, ESCUTCHEON PLATES, SUPPLY LINE CONNECTORS AND WASTE FITTINGS
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- P7 INSTALL NEW GARBAGE DISPOSAL & DRAIN KIT AT ALL UNITS
- P8 REMOVE EXISTING AND INSTALL NEW FIRE-RATED WASHER VALVE BOXES WITH ANTI-HAMMER DEVICE(S) AT THE LAUNDRY ROOM
- P9 INSTALL NEW WATER SUPPLY AND DRAIN PIPING FOR NEW DISHWASHER PER PLANS
- P10 REMOVE EXISTING AND INSTALL NEW WATER SENSE LABELED (1.28 GPF) TOILETS W/ ELONGATED BOWL (COMFORT HEIGHT @ ALL UNITS) PER PLANS
- P11 REMOVE EXISTING AND INSTALL NEW ELECTRIC 30 GALLON WATER HEATER(S) (LOW BOY AT UNITS VERIFY CLEARANCE REQTS.) & ASSOCIATED PIPING, ELECTRICAL DISCONNECT(S), DRAIN PAN(S) AND DRAIN PIPING; ROUTE DRAIN PAN PIPING TO EXISTING DISCHARGE LOCATION
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- P13 REMOVE EXISTING AND INSTALL NEW PRESSURE BALANCING OR THERMOSTATIC MIXING TUB/SHOWER CONTROLS, WATER SENSE SHOWERHEAD, DIVERTER AND DRAIN AT ALL UNITS; PROVIDE ACCESSIBLE CONTROLS AT UFAS UNITS INCLUDING HANDHELD SHOWERHEAD, 24" SLIDE BAR AND 60" FLEX HOSE
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 MITIGATE ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD-BASED PAINT, ETC.) THAT IS IDENTIFIED IN THE OWNER PROVIDED ENVIRONMENTAL REPORT

NOTE: TYP. CONDITION - ACTUAL MAY VARY
 CONTRACTOR TO FIELD VERIFY



LOW BOY ELECTRIC WATER HEATER SCHEMATIC

1 P1.0R SCALE: 3/8" = 1'-0"

PENETRATION NOTE

ALL PENETRATIONS OF FLOORS, WALLS AND CEILINGS BY HVAC COMPONENTS (DUCTS, PIPING, GRILLES), PLUMBING COMPONENTS (PIPING, CLEAN-OUTS, VALVES), ELECTRICAL COMPONENTS (BOXES, WIRING, CONDUIT), ETC. SHALL BE PROPERLY AND EFFECTIVELY SEALED DURING CONSTRUCTION WITH PROPER MATERIALS AND NEATLY FINISHED. GYPSUM BOARD COMPOUND SHALL BE USED @ GYP. BD. OPENINGS, EXCEPT THAT EXPANDABLE FOAM MAY BE USED IN AREAS SUCH AS MECHANICAL ROOMS. MORTAR SHALL BE USED @ BRICK PENETRATIONS. CHROME ESCUTCHEONS SHALL BE USED @ PLUMBING PIPING PENETRATION OF WALLS. THE USE OF CAULKING AND PAINT @ THE TIME OF PUNCHLIST INSPECTIONS WILL NOT BE DEEMED ACCEPTABLE IN LIEU OF THE ABOVE.

FIRESTOP CAULKING NOTE

PROVIDE FIRESTOP CAULKING / SEALING OF ALL MECHANICAL PENETRATIONS @ FIRE RATED WALLS AND CEILING PER A SPECIFIC FIRESTOP SYSTEM / PRODUCT.

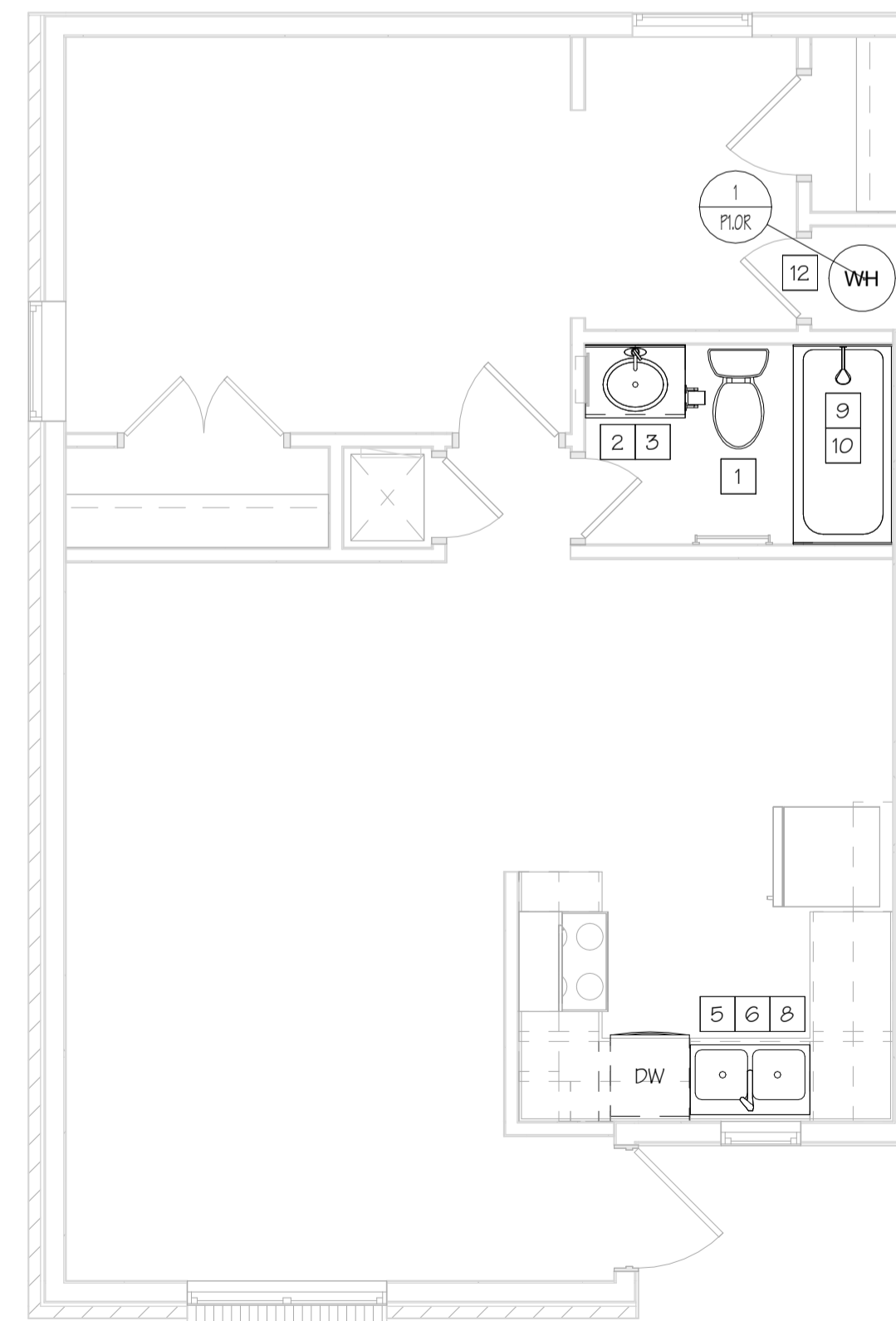
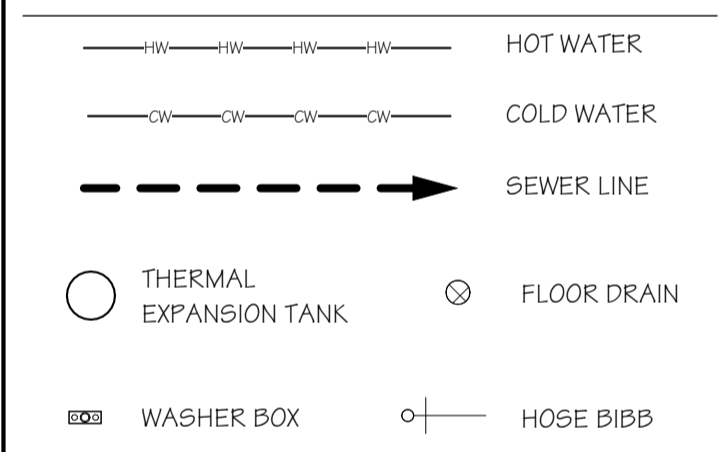
SLAB PENETRATION NOTE

ANY EXPOSED PENETRATIONS OF CONCRETE SLAB DURING REHAB SHALL BE EFFECTIVELY SEALED TO PREVENT PASSAGE OF AIR FROM UNDER SLAB INTO RESIDENTIAL UNITS. ALL PENETRATIONS IN OR THROUGH A RATED ASSEMBLY SHALL COMPLY WITH SECTION 712 OF THE IBC.

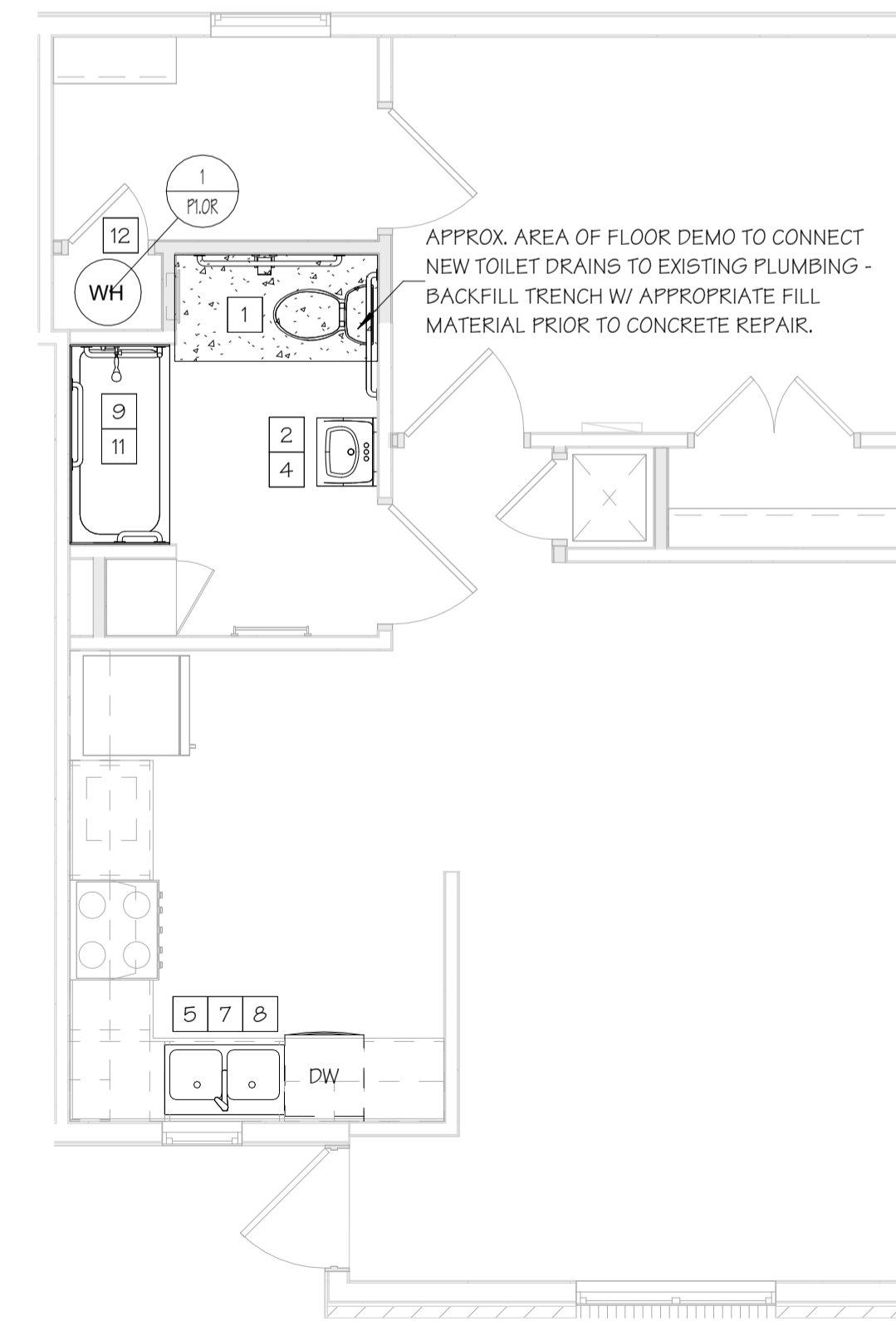
GENERAL PLUMBING NOTES

- 1) CONTRACTOR SHALL VERIFY THE LOCATION OF WATER & SEWER LINES FOR ENTRANCE INTO EACH BUILDING.
- 2) NEW PLUMBING VENTS THRU ROOF SHALL BE OFFSET 3'-0" TO BACKSIDE OF ROOF.
- 3) PLUMBING CONTRACTOR SHALL PROVIDE STOPS FOR FIXTURES.
- 4) ALL WORK DONE SHALL BE ACCORDING TO THE APPLICABLE PLUMBING CODE & ALL APPLICABLE LOCAL CODES.
- 5) VENT ALL FIXTURES PER CODE AND / OR AS SHOWN.
- 6) HOT AND COLD WATER LINES SHALL RUN IN INTERIOR WALLS OR BELOW SLAB.
- 7) TUB FILLER SPOUT, CONTROL VALVE & SHOWER HEAD SHALL BE SECURED TO SOLID BLOCKING (TYP.)
- 8) PROVIDE ANTI-HAMMER DEVICES OR PROVIDE AIR CHAMBERS ON HOT & COLD WATER LINES AT ALL FIXTURES.
- 9) FLOOR DRAIN SHALL BE TIED TO DRAIN SYSTEM.
- 10) WATER PIPING INSIDE BLDGS. SHALL BE PEX/COPPER PER SPECS.
- 11) PRESSURE-MIXING OR THERMOSTATIC-MIXING VALVES EQUIPPED WITH HIGH-LIMIT STOPS ADJUSTED TO A MAXIMUM HOT WATER SETTING OF 120 DEGREES FAHRENHEIT SHALL BE PROVIDED FOR ALL TUB/SHOWERS AND SHOWERS.
- 12) ALL PENETRATIONS WITH RATED WALLS, FLOORS & CEILINGS MUST BE UL LISTED. CAULK SHALL BE HILTI PRODUCT #5611A OR EQUAL.
- 13) PROVIDE HAND-HELD SHOWER (IN LIEU OF FIXED SHOWER HEAD) EQUAL TO ALSONS #465 SHOWER HEAD, 60" FLEXIBLE HOSE, #1000 L SPOUT, 24" SLIDE BAR, & VACUUM BREAKER @ ACCESSIBLE UNIT(S).
- 14) PROVIDE SECURELY MOUNTED, FOLD DOWN TUB SEAT AS PER SPECS FOR UFAS UNIT(S).
- 15) OFF-SET UFAS UNIT SHOWER VALVE CONTROL SO IT IS CENTERED 6" TO 9" FROM OUTER EDGE OF TUB FOR EASIER ACCESS. @ 42" A.F.F. FOR TUB/SHOWER AND 42" A.F.F. FOR SHOWER (VALVE TO BE LEVER TYPE CONTROL).
- 16) INSULATE EXPOSED PIPING BELOW KITCHEN SINK, UTILITY SINK AND LAVATORY (BETTER THAN R-2).

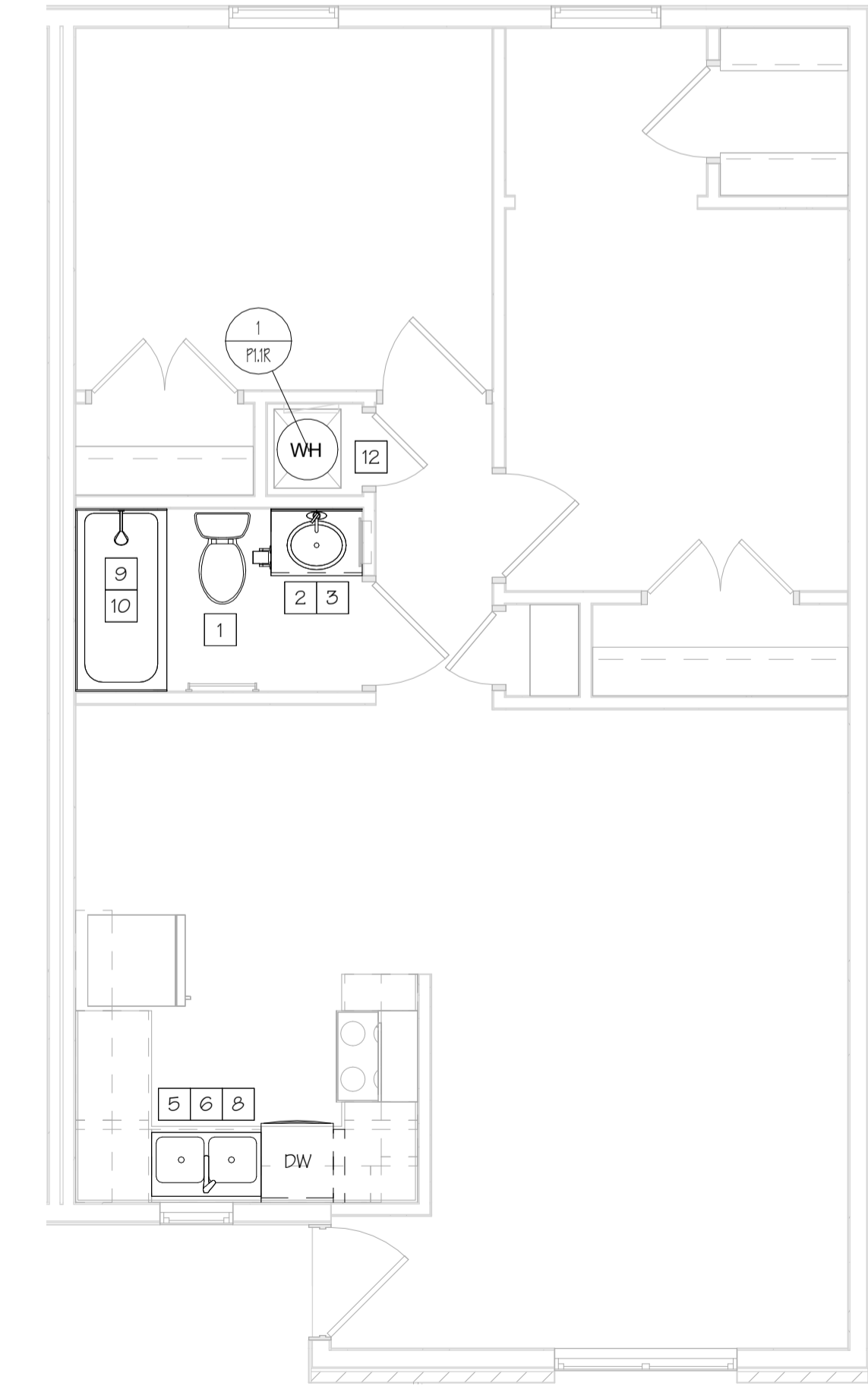
PLUMBING LEGEND



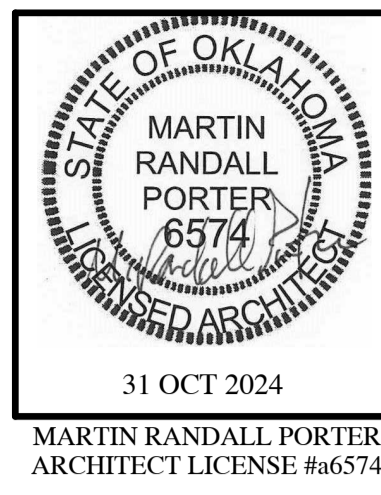
2 P1.0R SCALE: 1/4" = 1'-0"



3 P1.0R SCALE: 1/4" = 1'-0"



4 P1.0R SCALE: 1/4" = 1'-0"



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CHICKASHA, GRADY COUNTY, OKLAHOMA



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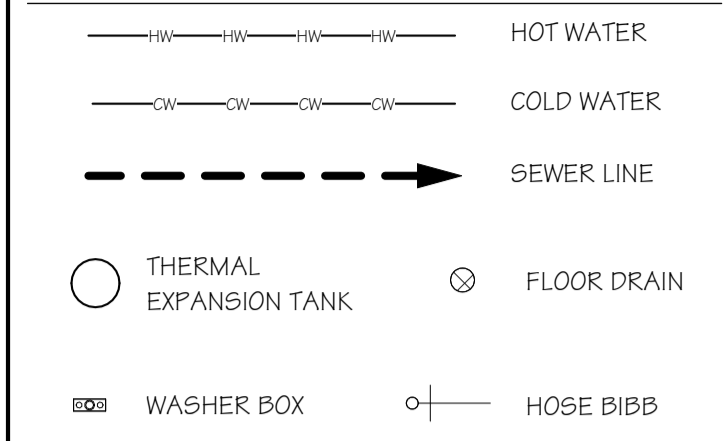
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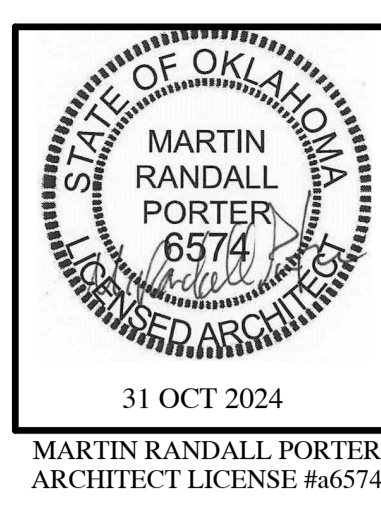
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PLUMBING LEGEND

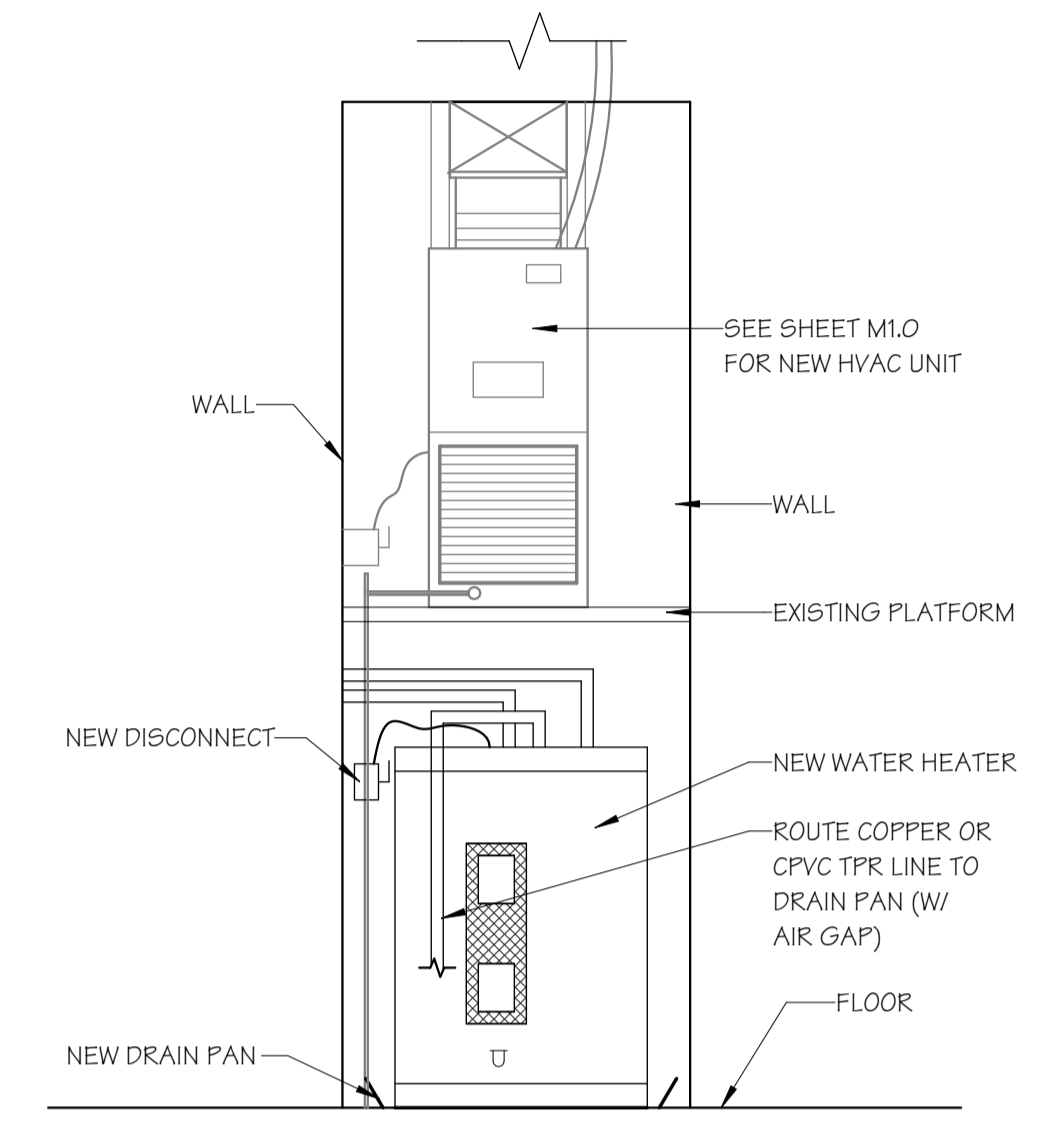


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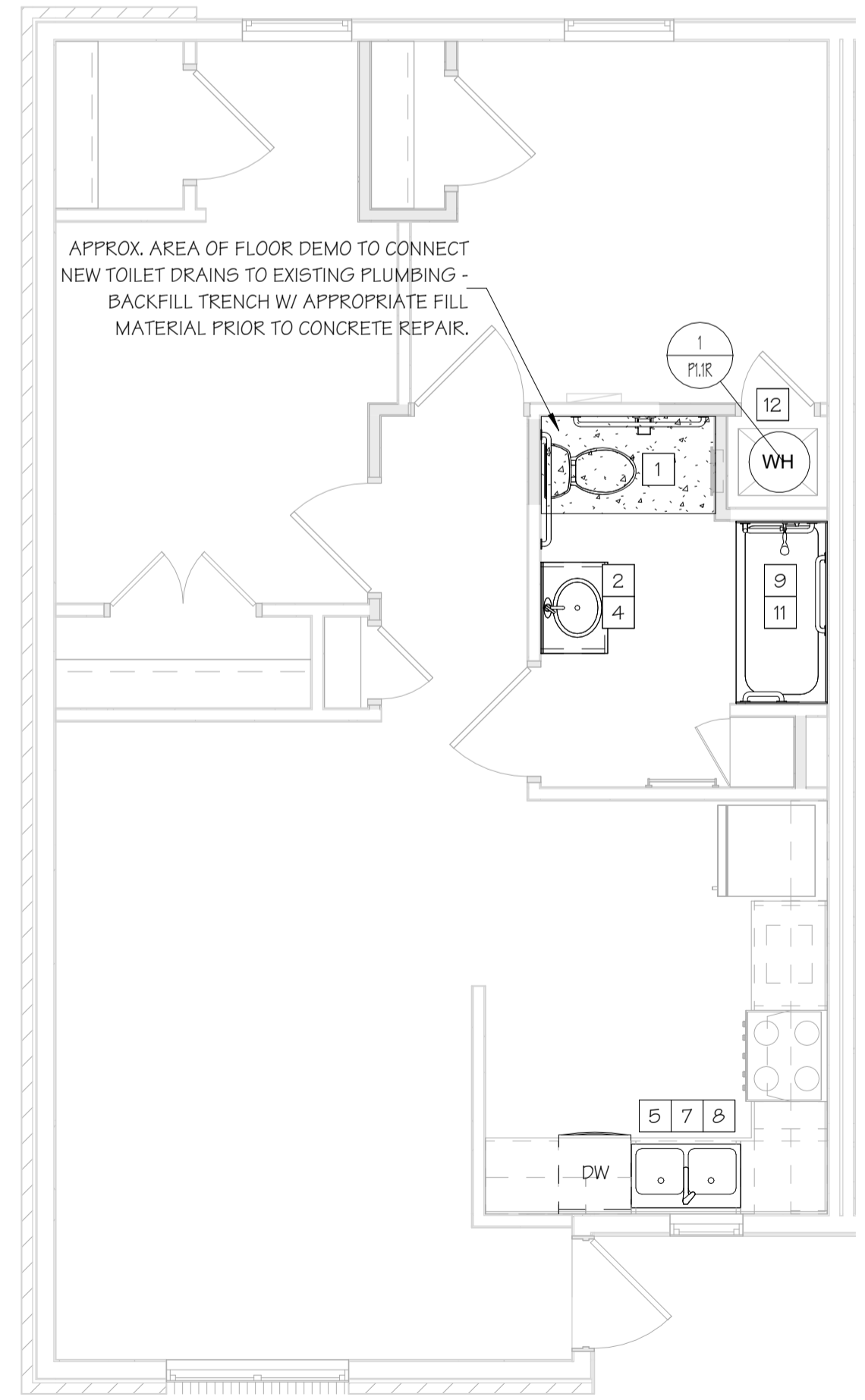


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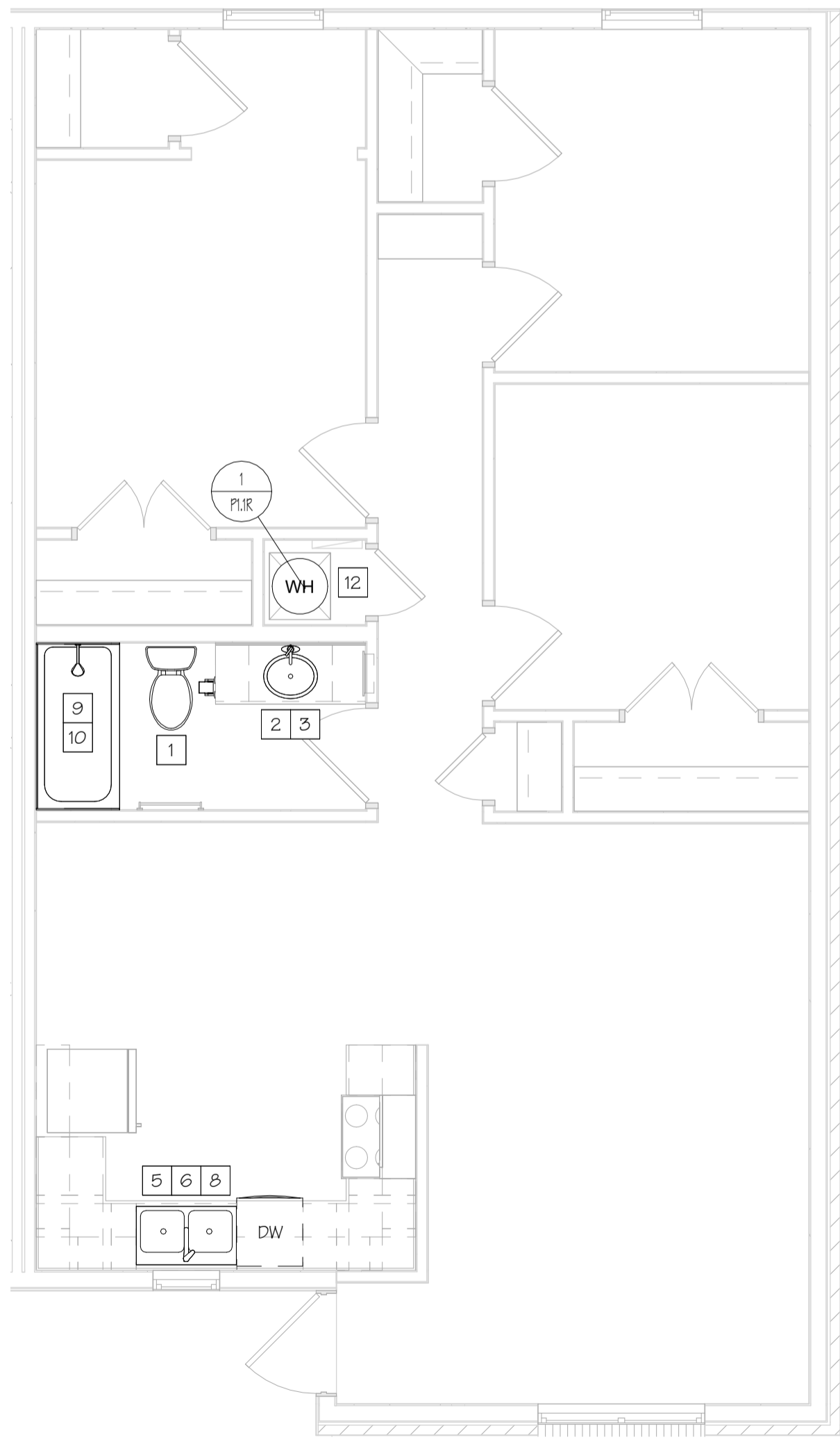


LOW BOY ELECTRIC WATER HEATER BELOW FURNACE SCHEMATIC

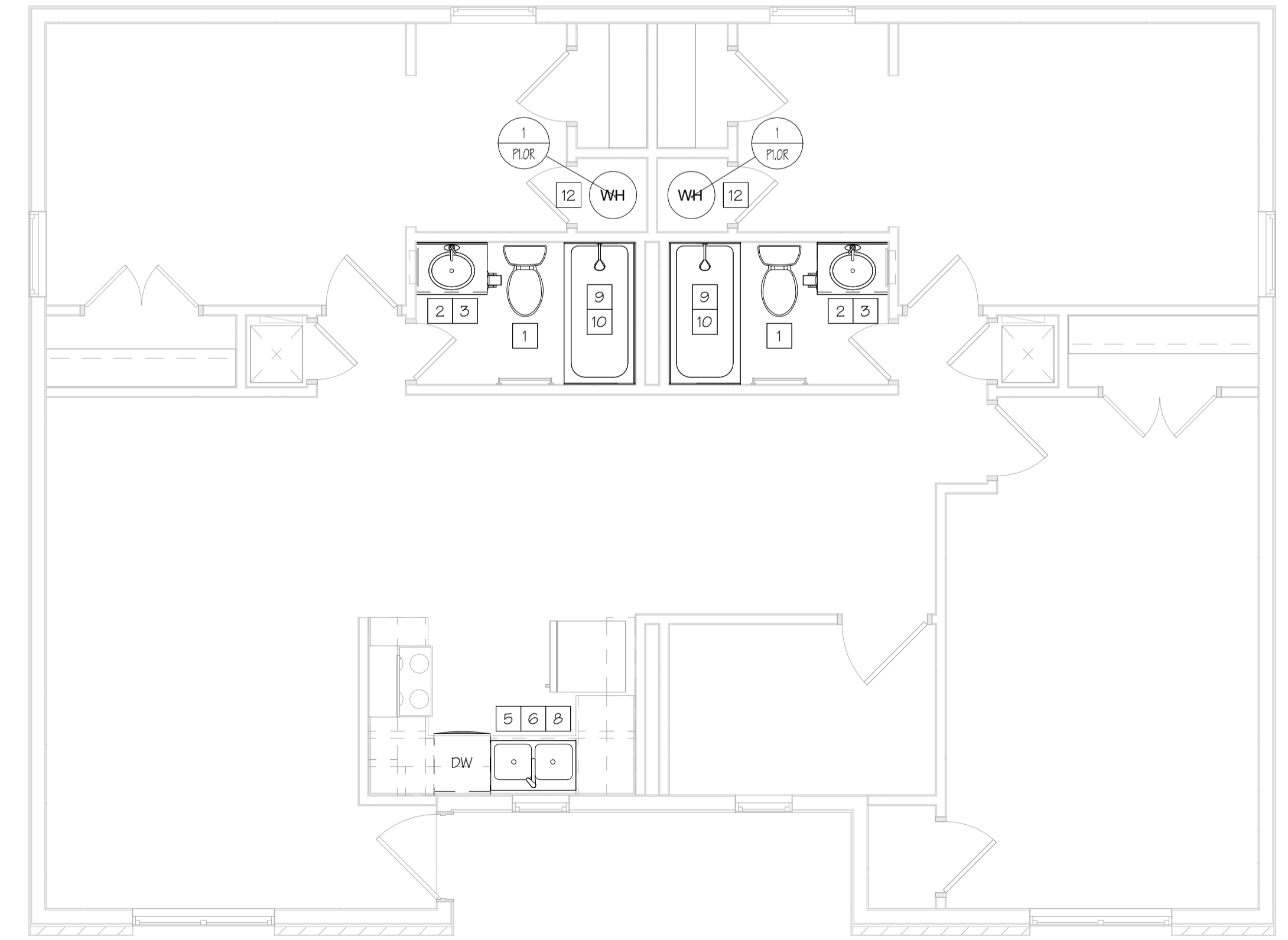
1 P1.1R SCALE: 3/8" = 1'-0"



2 UFAS 2-BR PLUMBING PLAN
 1 P1.1R SCALE: 1/4" = 1'-0"



3 TYP. 3-BR-A PLUMBING PLAN
 1 P1.1R SCALE: 1/4" = 1'-0"



4 TYP. 3-BR-B PLUMBING PLAN
 1 P1.1R SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
 CHICKASHA, GRADY COUNTY, OKLAHOMA



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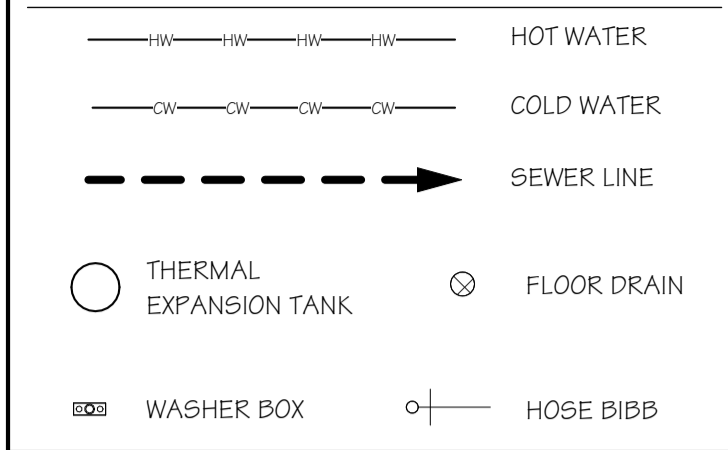
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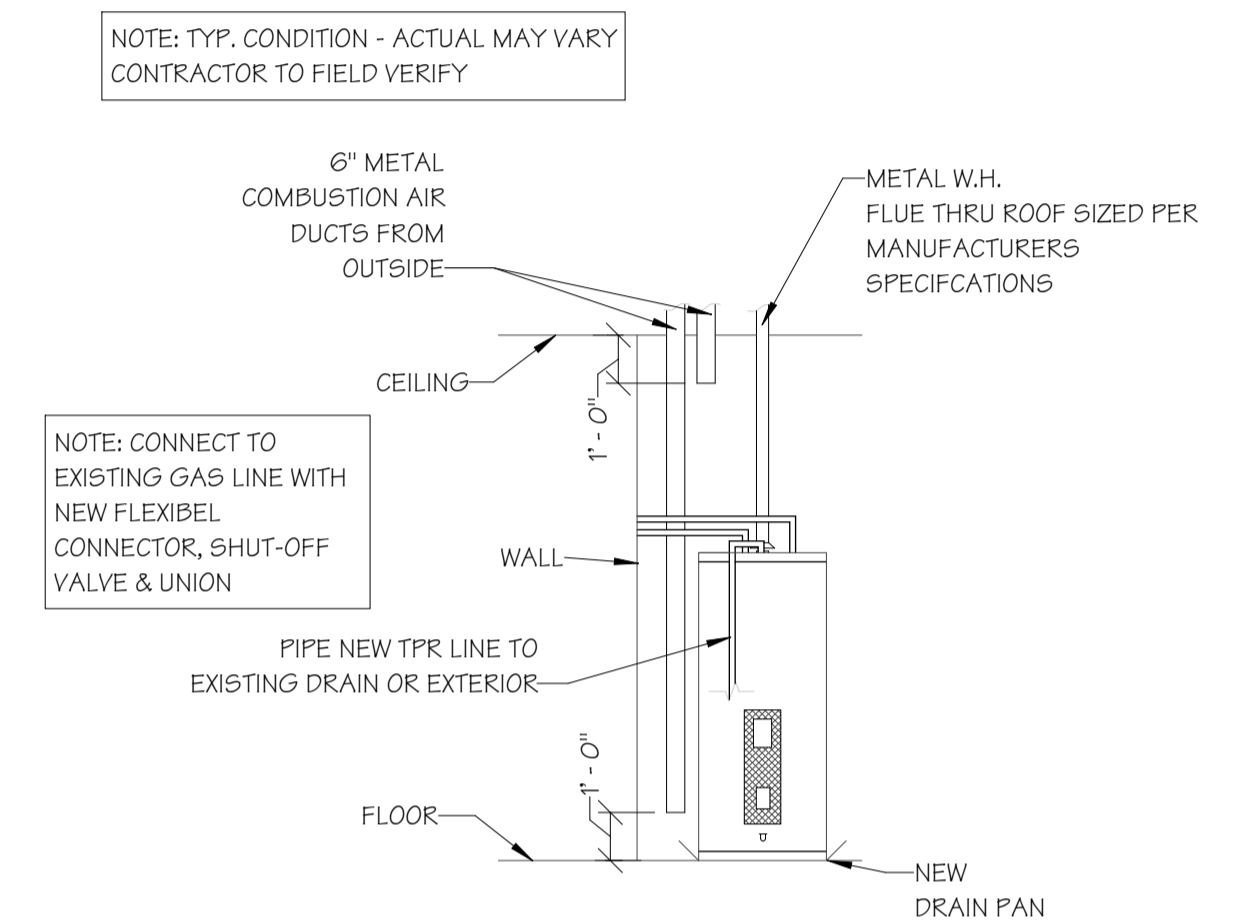
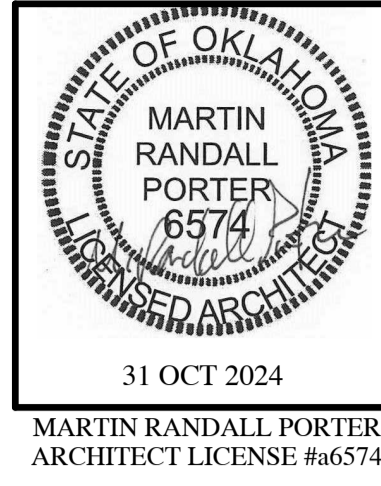
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PLUMBING LEGEND

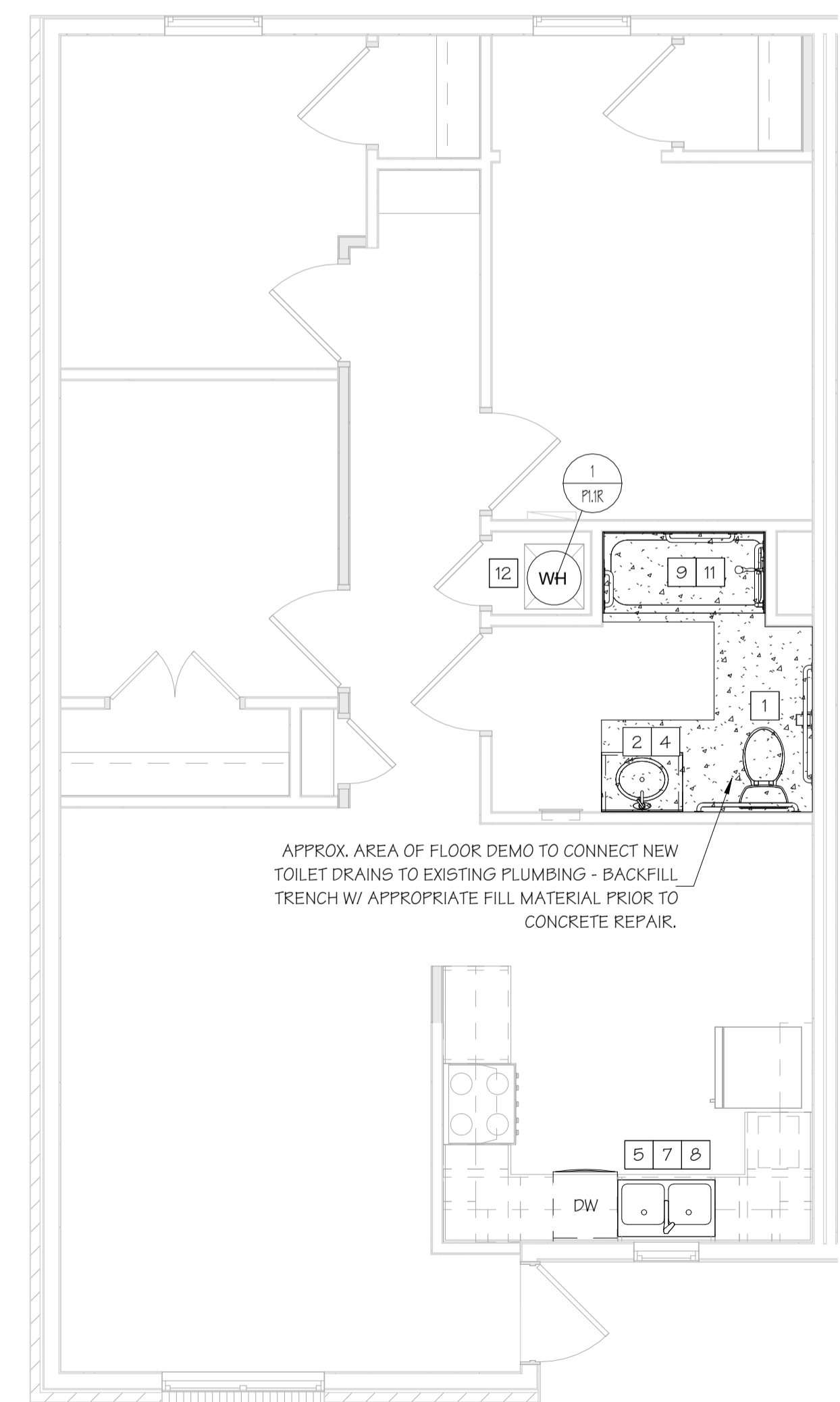


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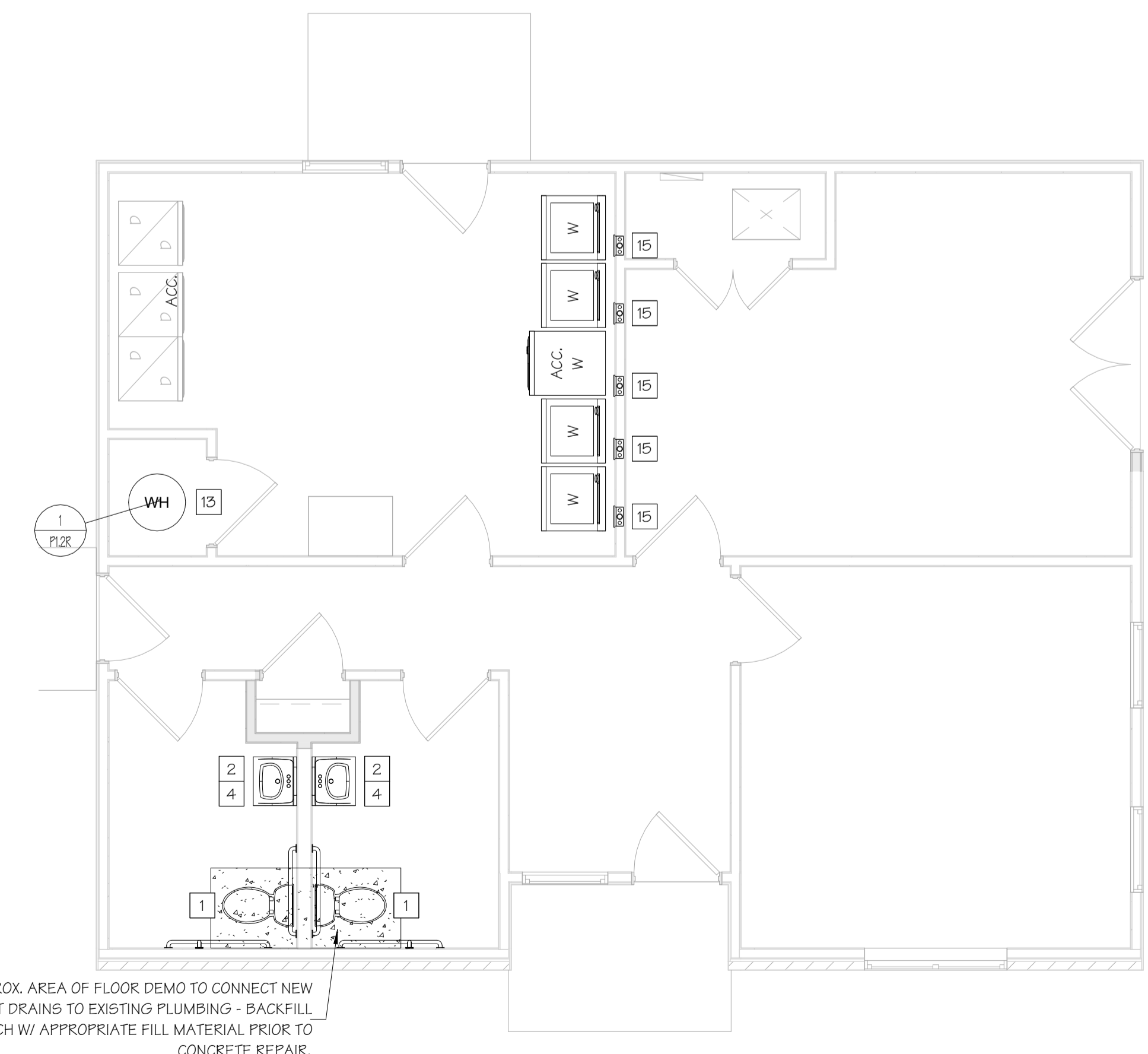
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1 GAS WATER HEATER SCHEMATIC
 P1.2R SCALE: 1/4" = 1'-0"



2 UFAS 3-BR PLUMBING PLAN
 P1.2R SCALE: 1/4" = 1'-0"



3 OFFICE/LAUNDRY/MAINT. PLUMBING PLAN
 P1.2R SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



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ELECTRICAL FIXTURE SCHEDULE

MARK	MFG	CATALOG #	WATTS	MOUNT	REMARKS
A	LITHONIA	WF4	10 W LED	CEILING	DISK LIGHT
B	HAMPTON BAY	EGM1393A-BN	(3) 12W A19 LED SOFT-WHITE	WALL	(3) LIGHT, ALABASTER GLASS, BRUSHED NICKEL
C	LITHONIA	FMLRL	24W LED	SURFACE	1600 LUMENS, 4000K
D	TRANS GLOBE	51550B2	15W LED	WALL EXTERIOR ENTRY	LOW PROFILE, 8"X8"X2.6", 3000K OUTDOOR WALL SCONCE
E	HAMPTON BAY	52040	(2) 8.5W LED	CEILING	WELLSTORM II, BRUSHED NICKEL CEILING FAN LIGHT/COMBO
F	DUAL LITE	LTURW3-OSL	(2) 6W LED	SURFACE	LED EMERGENCY / EXIT
G	DUAL LITE	EV2	(2) 2W LED	SURFACE	LED EMERGENCY LIGHT, INTERIOR
I	WESTINGHOUSE SYLVESTER	6227800	(1) 12W, E26 BASE...	WALL	BRUSHED NICKEL FROSTED SEEDED GLASS - WALL SCONCE
J	AFX	LW232R8	32W (2) LED TYPE B	CEILING	NARROW WRAP FIXTURE (ENERGY STAR BULBS) 7" WIDE x 2-3/8" HIGH x 48" LENGTH
EF-1	EXHAUST FAN - ENERGY STAR RATED, 80 CFM				

NOTE: ALL FIXTURES MUST HAVE LED BULBS

ELECTRICAL LEGEND

⊞	ONE WAY SWITCH
⊞ ₃	THREE WAY SWITCH
⊞ ₄	FOUR WAY SWITCH
⊞	120 V. RECEPTACLE
⊞	240 V. RECEPTACLE
⊞	TELEPHONE JACK
⊞	DATA JACK
⊞	TELEPHONE/DATA JACK
⊞	TELEVISION JACK
⊞	KEYPAD
⊞	ELECTRICAL PANEL
⊞	CIRCUIT TO PANEL
⊞	J-BOX
⊞	DISCONNECT
⊞	EXHAUST FAN MOTOR
⊞	MOTOR CONNECTION
⊞	PUSHBUTTON
⊞	DOOR CHIME
⊞	THERMOSTAT
⊞	LIGHT, WALL MOUNT
⊞	LIGHT, CEILING MOUNT LED
⊞	LIGHT, SURFACE MOUNT LED
⊞	CEILING FAN
⊞	EXIT LIGHT/EMERGENCY LIGHT W/BATTERY BACKUP, SINGLE FACED
⊞	EXIT LIGHT/EMERGENCY LIGHT W/BATTERY BACKUP, DOUBLE FACED
⊞	EMERGENCY LIGHT W/BATTERY BACKUP
⊞	SMOKE DETECTOR
⊞	SMOKE DETECTOR W/STROBE
⊞	FIRE ALARM HORN STROBE
⊞	AFCI
⊞	GFI/GFCI
⊞	WP

NOTE: SWITCH & OUTLET HEIGHTS NOTED ON PLANS SHALL BE TO THE BOTTOM OF THE BOX.

PENETRATION NOTE

ALL PENETRATIONS OF FLOORS, WALLS AND CEILINGS BY HVAC COMPONENTS (DUCTS, PIPING, GRILLES), PLUMBING COMPONENTS (PIPING, CLEAN-OUTS, VALVES), ELECTRICAL COMPONENTS (BOXES, WIRING, CONDUIT), ETC. SHALL BE PROPERLY AND EFFECTIVELY SEALED DURING CONSTRUCTION WITH PROPER MATERIALS AND NEATLY FINISHED. GYPSUM BOARD COMPOUND SHALL BE USED @ GYP. BD. OPENINGS, EXCEPT THAT EXPANDABLE FOAM MAY BE USED IN AREAS SUCH AS MECHANICAL ROOMS. MORTAR SHALL BE USED @ BRICK PENETRATIONS. CHROME ESCUTCHEONS SHALL BE USED @ PLUMBING PIPING PENETRATION OF WALLS. THE USE OF CAULKING AND PAINT @ THE TIME OF PUNCHLIST INSPECTIONS WILL NOT BE DEEMED ACCEPTABLE IN LIEU OF THE ABOVE.

HEARING/VISUAL UNITS

1) AT EACH SENSORY IMPAIRED UNIT, THE ELEC. CONTR. SHALL FURNISH & INSTALL A SMOKE/CARBON MONOXIDE DETECTOR/STROBE LIGHT COMBINATION UNIT IN HALL & EACH BEDROOM. CONNECT DETECTOR IN BEDROOMS TO DETECTOR IN HALL, SO THAT ALL DETECTORS ARE ON SAME 120V POWER CIRCUIT. ALSO A DOOR CHIME UNIT TO BE FURNISHED W/LIGHT SO THAT UPON BEING OPERATED LIGHT IS ACTIVATED. ALL WORK IN THIS UNIT SHALL COMPLY W/FEDERAL GUIDE LINES FOR "SENSORY IMPAIRED" INDIVIDUALS. REFER TO BUILDING PLANS FOR LOCATION OF UNIT(S).

TAMPER RESISTANT NOTE

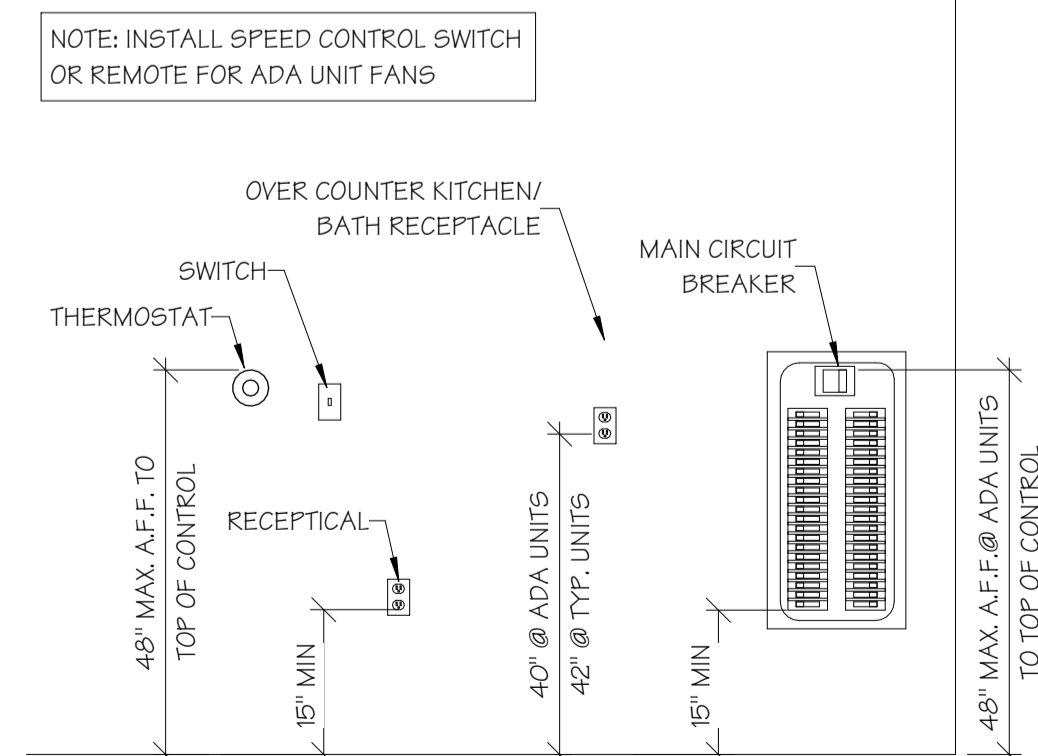
AT 120 VOLT 15 OR 20 AMP CIRCUITS IN DWELLING UNITS, PROVIDE TAMPER RESISTANT PROTECTION PER 2020 NEC (TAMPER RESISTANT RECEPTACLES ARE NOT REQUIRED AT LOCATIONS SERVING APPLIANCES NOR ABOVE ANY COUNTERTOPS)

AFCI NOTE

AT 15 OR 20 AMP CIRCUITS IN DWELLING UNITS, PROVIDE DEVICES, COVERS AND AFCI PROTECTION PER 2020 NEC

GFCI NOTE

INSTALL NEW GFCI DEVICES AND COVERS AT 120 VOLT 15 OR 20 AMP CIRCUITS PER 2020 NEC



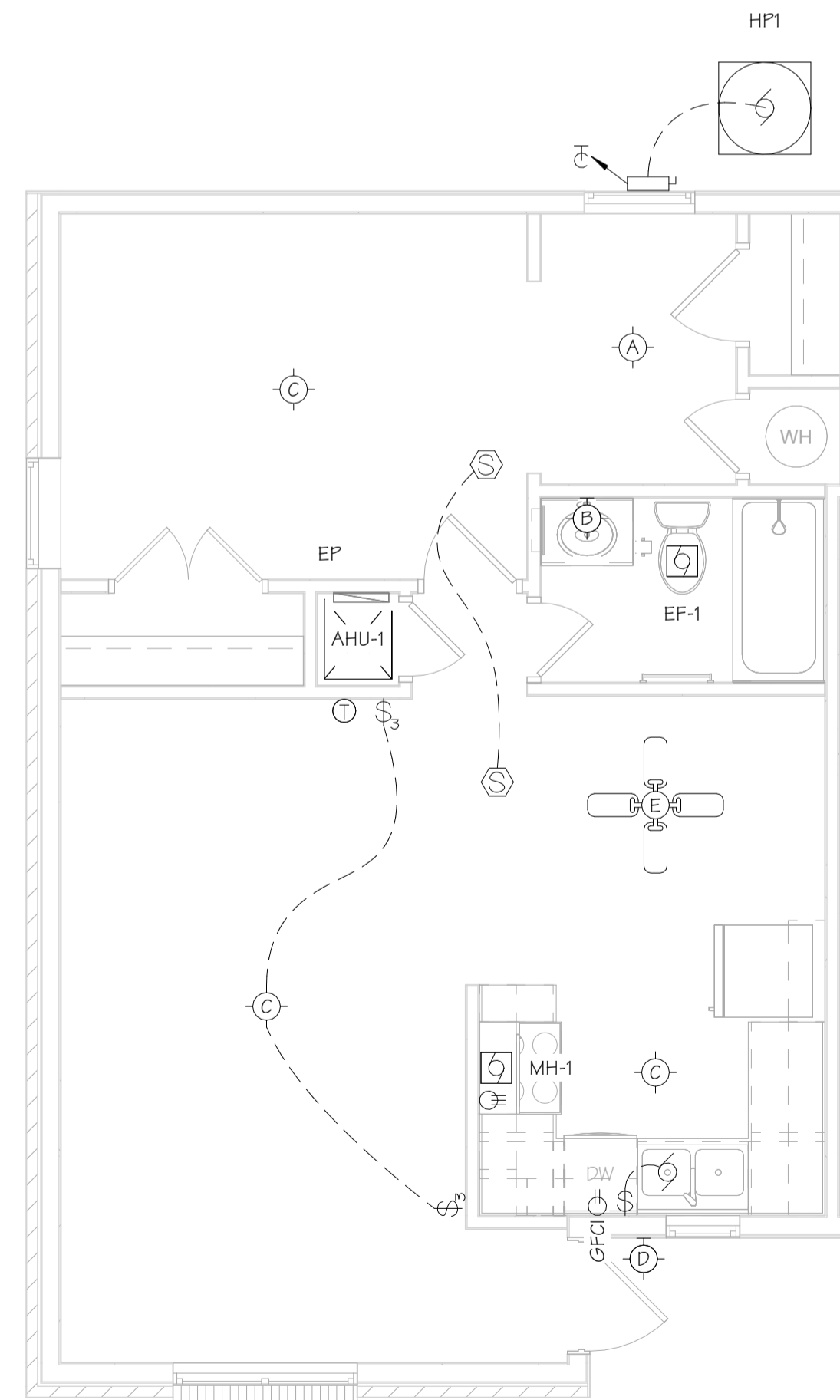
1 ELECTRICAL MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"

(ALL UNITS U.N.O.)

ELECTRICAL KEYNOTES

- E1 REMOVE ALL EXISTING AND INSTALL NEW ELECTRICAL OUTLETS, DISCONNECTS, SWITCHES, CABLE/DATA/PHONE JACKS AND COVER PLATES (COLOR AS CHOSEN BY OWNER); AFCI PROTECTION PROVIDED AS REQUIRED AT BREAKERS IN ELECTRIC PANEL OR AT FIRST OUTLET IN CIRCUIT PER NEC; ALL OUTLETS BELOW 5'-6" A.F.F. MUST BE TAMPER RESISTANT (RECEPTACLES AND SWITCHES IN UFAS UNITS SHALL BE MOUNTED IN COMPLIANCE WITH UFAS REQUIREMENTS); MAX. HIGH FORWARD REACH OF 48" A.F.F. & MAX. LOW FORWARD REACH OF 15" A.F.F.
- E2 REMOVE ALL EXISTING AND INSTALL NEW LIGHT FIXTURES WITH ENERGY STAR CERTIFIED LED TYPE BULBS
- E3 REMOVE ALL EXISTING AND INSTALL NEW HARDWIRED INTERCONNECTED SMOKE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) IN EACH UNIT. INSTALL 3FT AWAY FROM HVAC GRILLES, BATHROOM DOORS AND CEILING FANS; INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)
- E4 REMOVE ALL EXISTING AND INSTALL NEW HARDWIRED INTERCONNECTED SMOKE/STROBE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) IN THE AUDIO/VISUAL UNIT, UFAS UNITS AND NEW HARDWIRED INTERCONNECTED SMOKE/STROBE/CARBON MONOXIDE DETECTORS (W/ 10 YEAR SEALED BATTERY BACKUP AND WARRANTY) AT THE OLM, SEE SITE PLAN FOR LOCATION OF A/V AND UFAS UNIT(S). INSTALL 3FT AWAY FROM HVAC GRILLES, BATHROOM DOORS AND CEILING FANS; INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS)
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- E6 REMOVE EXISTING AND INSTALL NEW FLUSH MOUNT CEILING FAN/LIGHT COMBO WITH UL LISTED SUPPORT BOX AS INDICATED; AT UFAS UNIT(S) PROVIDE CIRCUITS, SWITCHES (WITH SPEED CONTROL OR REMOTE CONTROL)
- E7 ELECTRICAL CONTRACTOR TO VERIFY ADEQUATE BREAKER SLOTS ARE AVAILABLE FOR THE NOMINAL INCREASE IN CIRCUITRY FOR NEW DISHWASHERS, GARBAGE DISPOSALS & LIVING ROOM LIGHT FIXTURES. INSTALL TANDOM MINI BREAKERS AS NECESSARY
- E8 REINSTALL ELECTRICAL PANELS AT ALL UFAS UNITS SO THE TOP CONTROL IS AT 48" MAX. A.F.F. (54" MAX. A.F.F. WITH COMPLIANT PARALLEL APPROACH); PROVIDE JUNCTION BOXES AS REQUIRED TO EXTEND CONDUCTORS FOR THE RELOCATED ELECTRICAL PANELS
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- E16 SEE SITE WORK KEYNOTE(S) FOR SCOPE OF REPLACEMENT & NEW LIGHT POLE KITS



2 TYP. 1-BR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

3 UFAS 1-BR ELECTRICAL PLAN

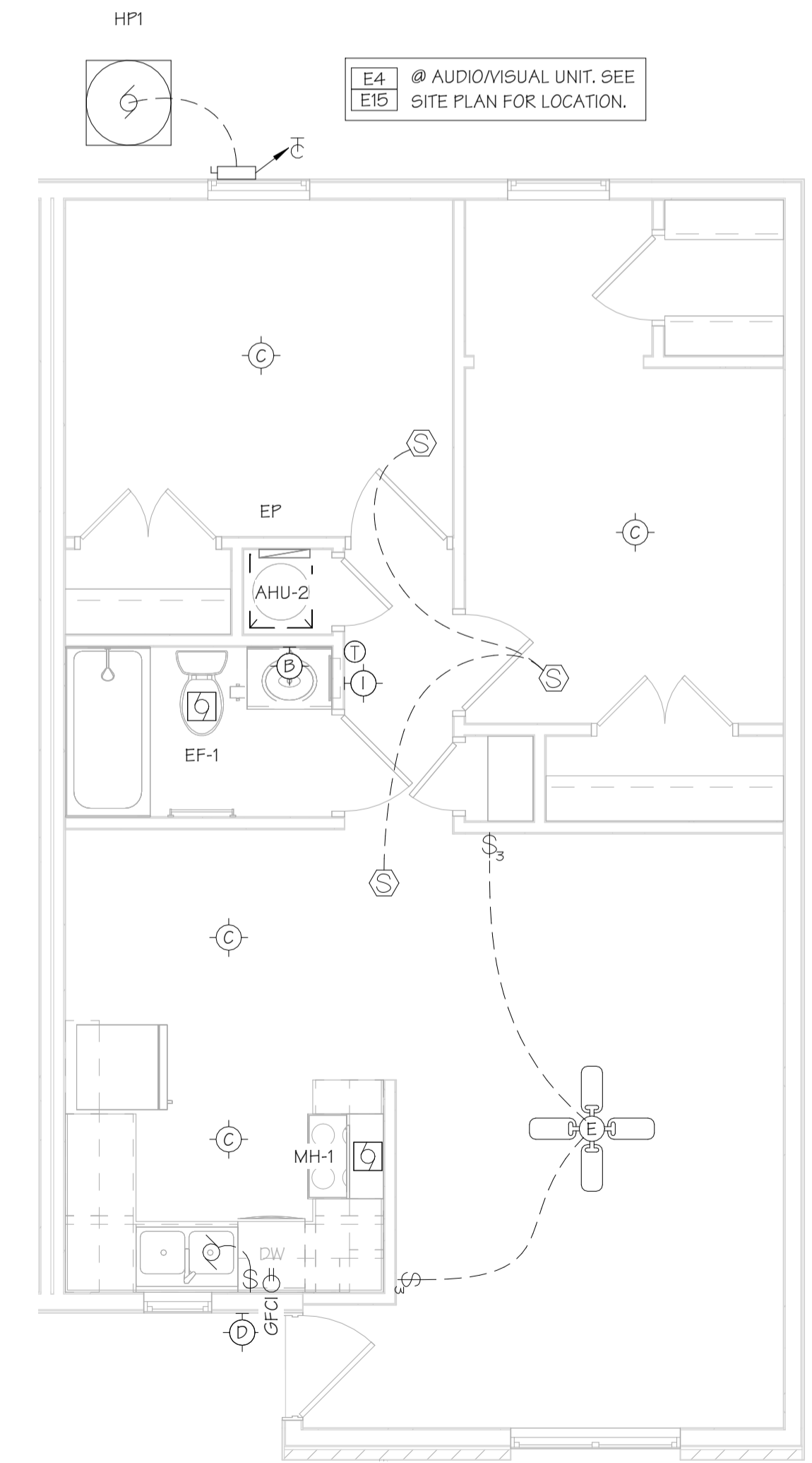
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

- 1) AS REQUIRED, WIRING IN WALLS SHALL BE NEATLY INSTALLED. ALL WIRING SHALL BE SECURELY FASTENED TO SIDE OF STUDS IF RUN VERTICALLY.
- 2) PLACE REQUIRED RECEPTACLES AT 15" A.F.F. EXCEPT AS NOTED OTHERWISE.
- 3) PLACE REQUIRED SWITCHES AT 48" MAX. A.F.F.
- 4) SWITCH & OUTLET HEIGHTS NOTED ON PLANS SHALL BE PER DETAIL 1/E1.0R
- 5) REQUIRED WIRING IS TO BE COPPER WIRE. ALUMINUM WIRE IS NOT TO BE USED.
- 6) PROVIDE G.F.I. BREAKERS OR G.F.I. RECEPTACLE FEED-THRU CIRCUITS FOR PROTECTION OF OUTLETS AS REQ'D BY NEC, INCLUDING THE FOLLOWING: BATH, OUTDOOR & KITCHEN.
- 7) ELECTRICAL CONTRACTOR SHALL LABEL ALL CIRCUITS IN PANEL W/ ROOMS & APPLIANCES.
- 8) REQUIRED NEW SWITCHES TO BE 15 AMP, SILENT SWITCH, EQUAL TO HUBBELL 121W (WHITE)
- 9) INSTALLATION OF EXHAUST FANS SHALL BE REFERENCED TO SPECIFICATION, TO VERIFY VENTING PROCEDURE (NOT IN ATTIC).
- 10) SMOKE DETECTORS WITHIN EACH UNIT SHALL BE CONNECTED SO ALL ARE ACTIVATED IN UNISON, SMOKE DETECTORS SHALL NOT BE INTERCONNECTED WITHIN OTHER UNITS.
- 11) ELECTRICAL CONTRACTOR SHALL FURNISH & INSTALL POWER CORDS FOR ALL RANGES, ELECTRICAL CONTRACTOR TO PROVIDE, INSTALL & WIRE ANY AND ALL REQUIRED DISCONNECTS AT NEW LOCATIONS.
- 12) ALL NEW PENETRATIONS WITHIN RATED WALL & CEILING MUST BE UL LISTED.
- 13) REQUIRED NEW RANGE WIRING TO BE (3) #6, (1) #10, OR AS PERMITTED BY THE ELECTRICAL CODE. DRYER WIRING TO BE 10/3 W/G, OR AS PERMITTED BY THE ELECTRICAL CODE.
- 14) ALL RECEPTACLE AND SWITCH COVER PLATES SHALL BE WHITE UNO.
- 15) ALL NEW RECEPTACLES IN A RATED WALL SHALL BE INSTALLED IN ACCORDANCE WITH THE 2018 IBC.

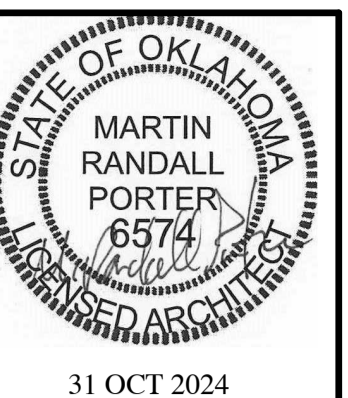
NOTES:
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4 TYP. 2-BR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



31 OCT 2024
MARTIN RANDALL PORTER
ARCHITECT LICENSE #66574

RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS LLC
Columbia, MO
P. 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
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31 OCT 2024

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31 OCT 2024 ISSUE SET

SHEET NO. E1.0R

JOB NO.
4780

ISSUE SET

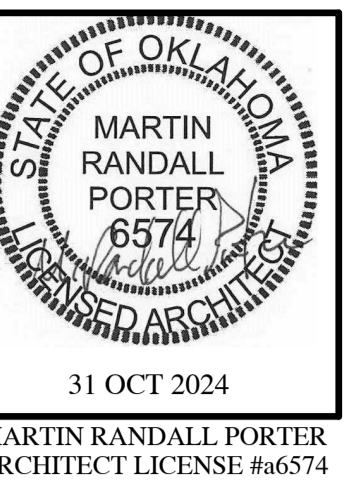
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ELECTRICAL KEYNOTES

SEE SHEET EL0R FOR ELECTRICAL SCHEDULES, NOTES & DETAILS

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RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



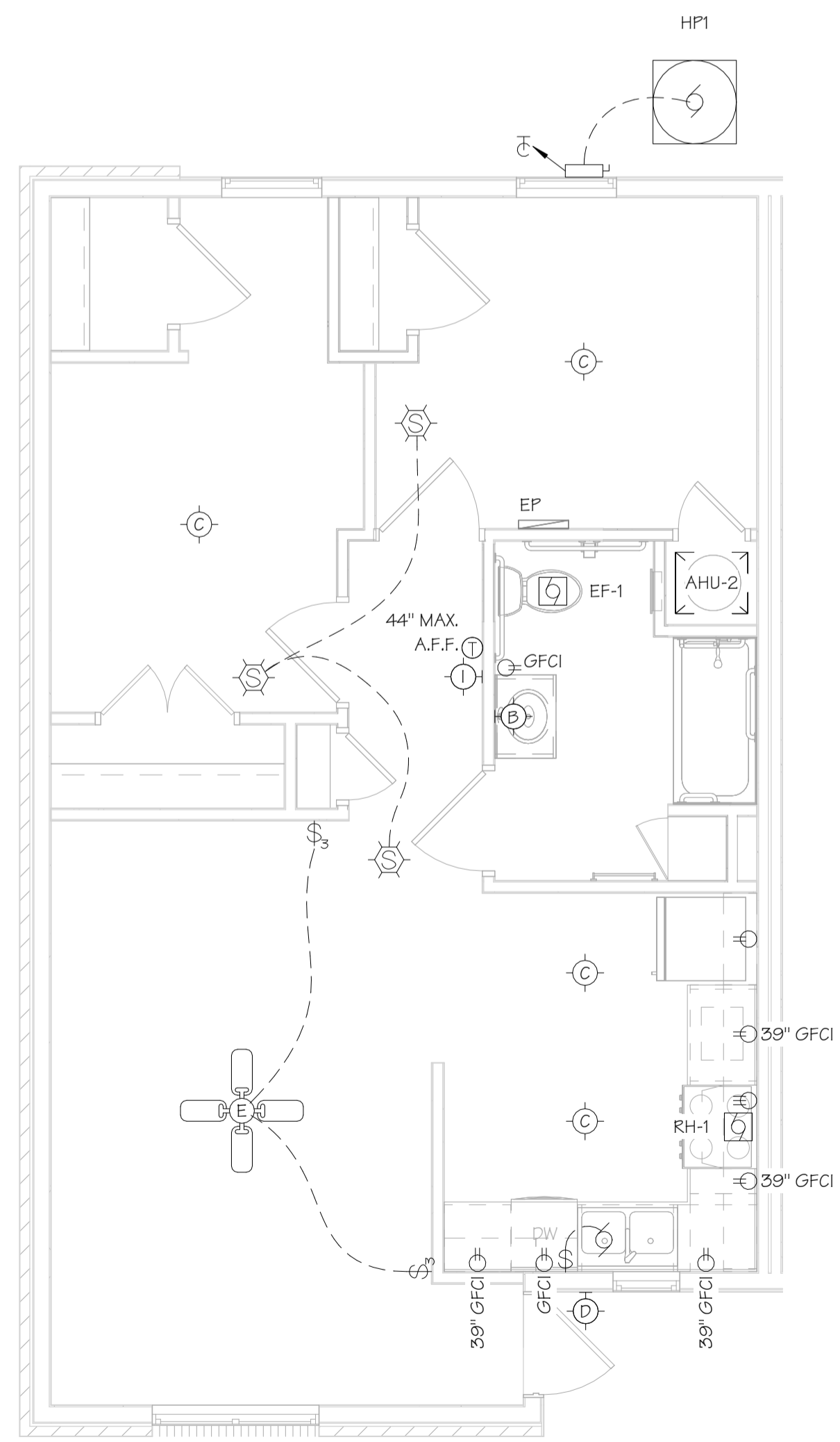
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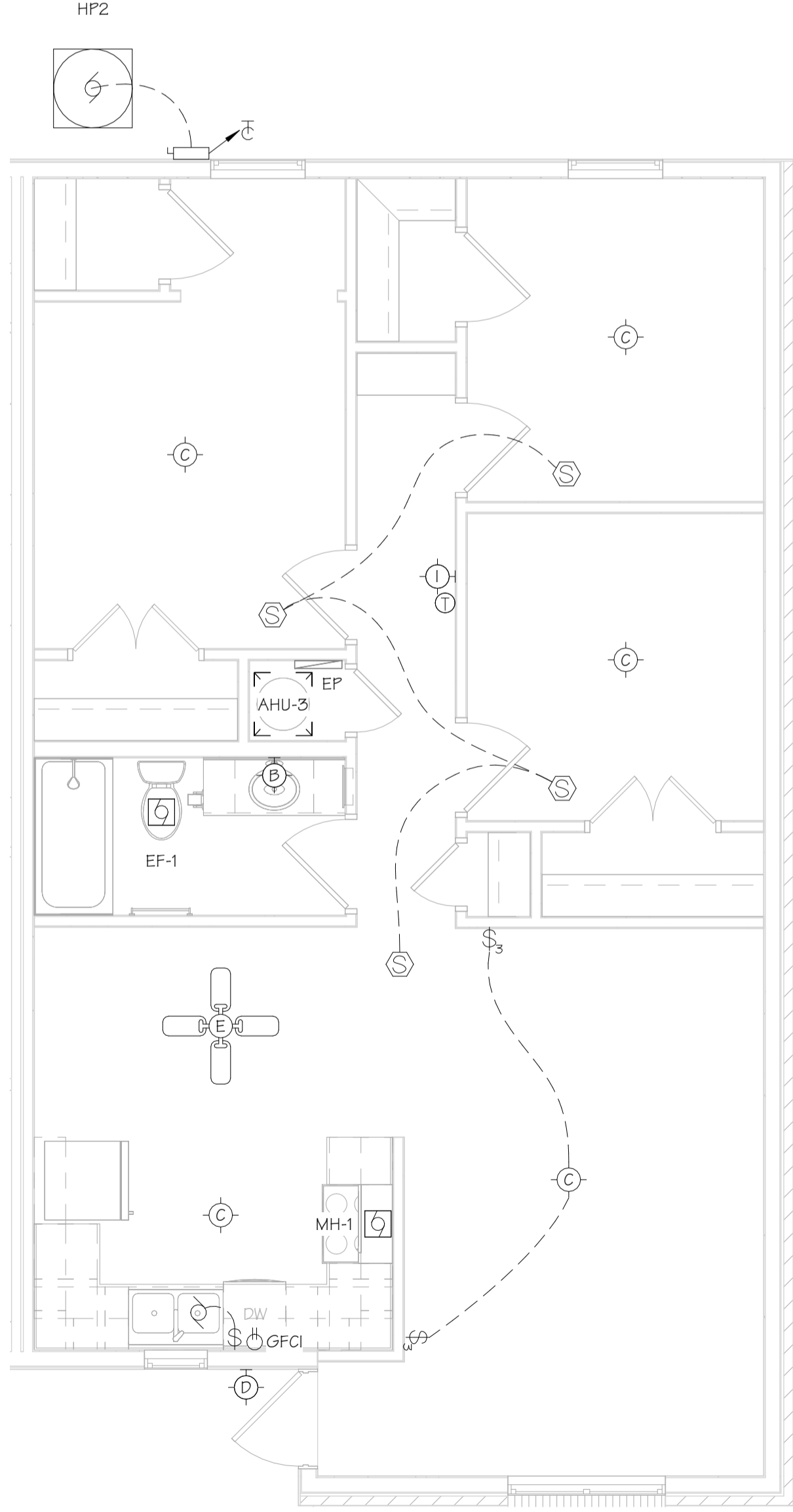
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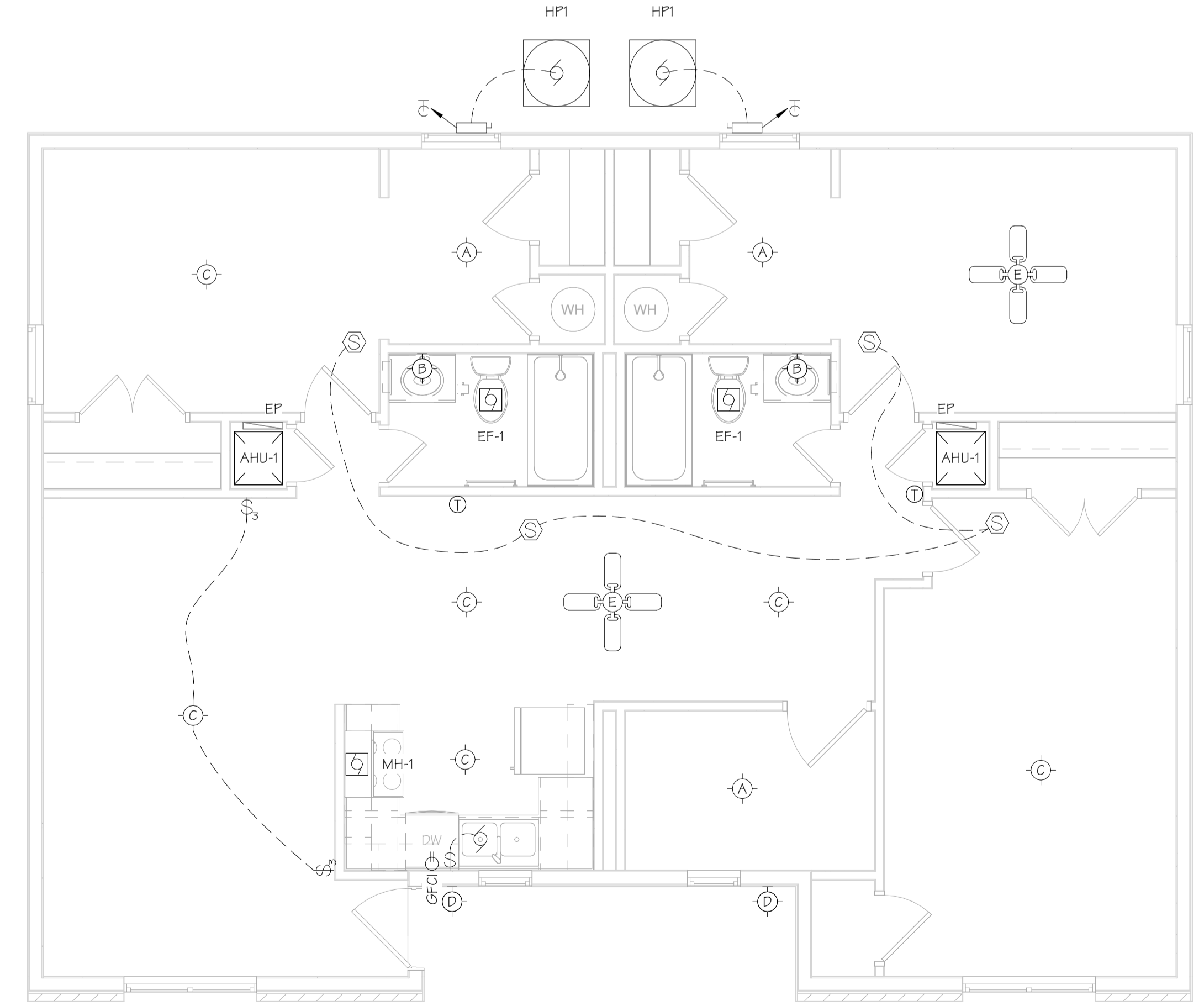
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1
 UFAS 2-BR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



2
 TYP. 3-BR-A ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



3
 TYP. 3-BR-B ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

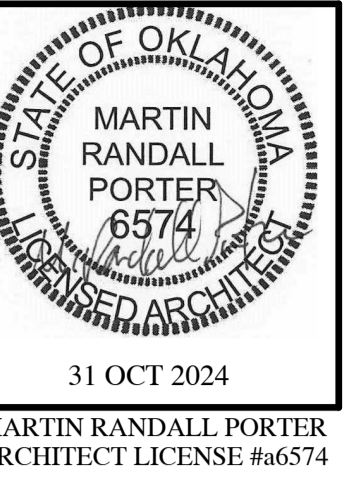
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ELECTRICAL KEYNOTES

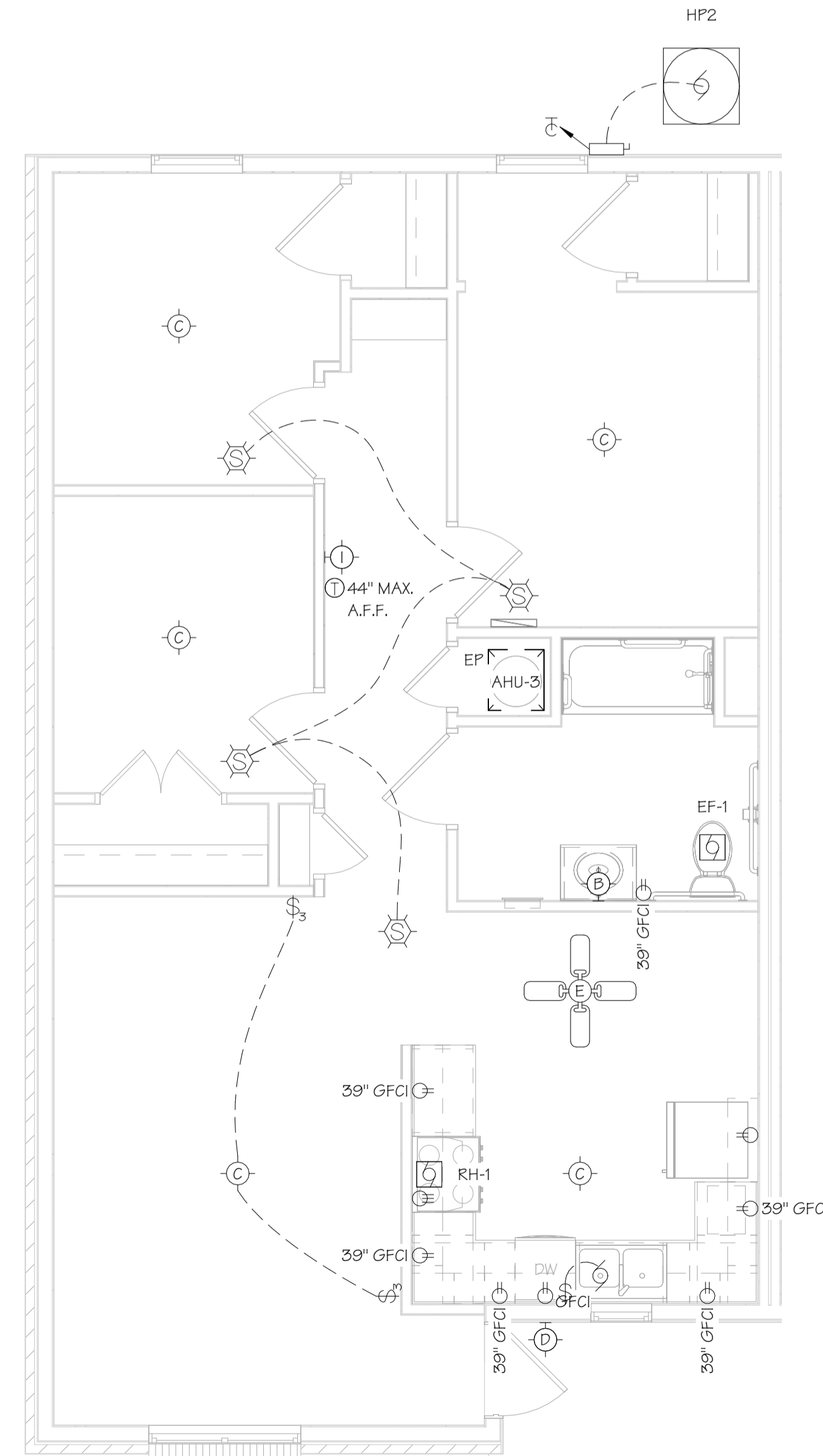
SEE SHEET E1.0R FOR ELECTRICAL SCHEDULES, NOTES & DETAILS

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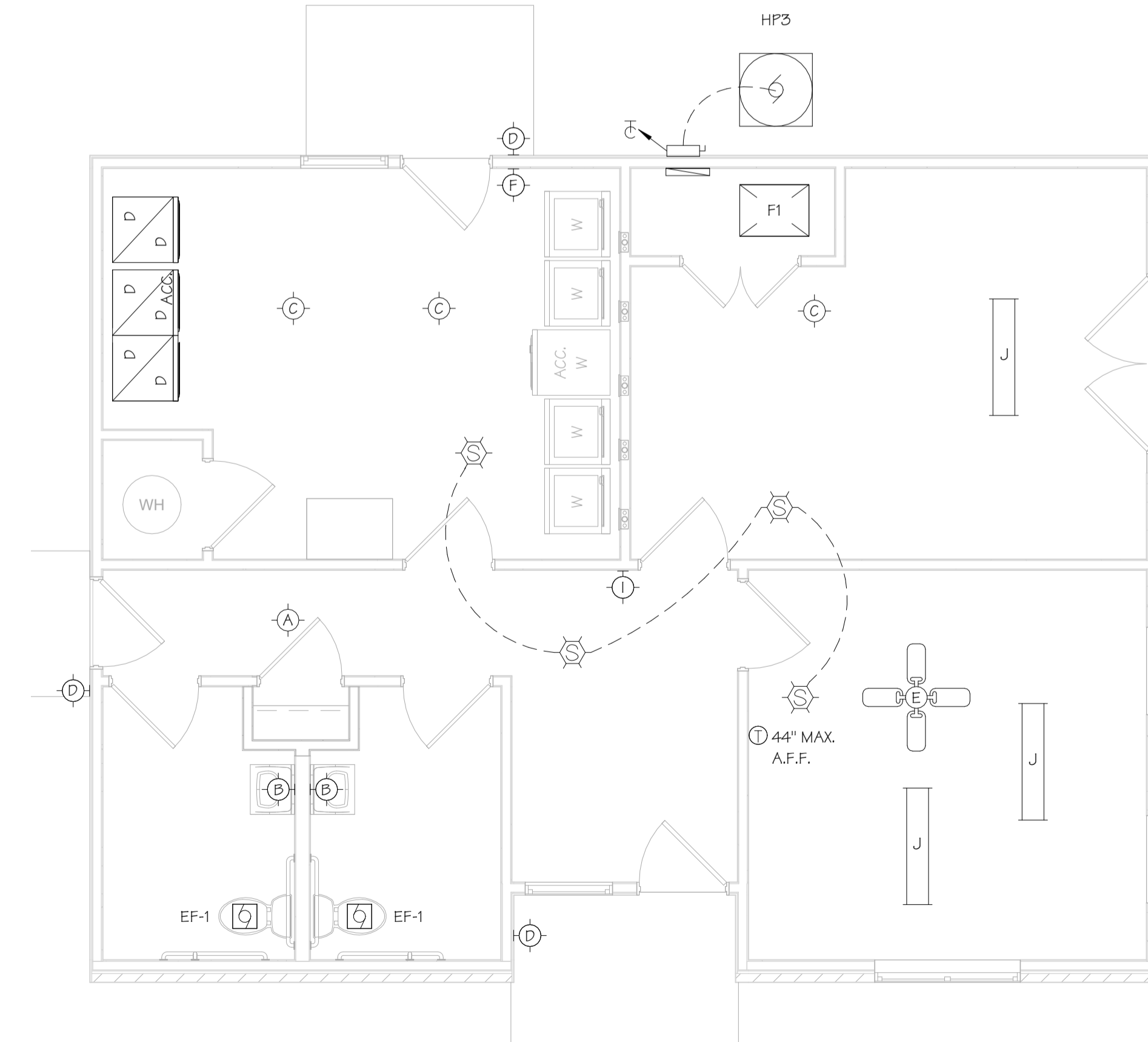
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WALLACE ARCHITECTS LLC
RIVER BEND VILLAS
CHICKASHA, GRADY COUNTY, OKLAHOMA



1 UFAS 3-BR ELECTRICAL PLAN
 E1.2R SCALE: 1/4" = 1'-0"



2 OFFICE/LAUNDRY/MAINT. ELECTRICAL PLAN
 E1.2R SCALE: 1/4" = 1'-0"

Wallace
 ARCHITECTS LLC
 Columbia, MO
 P. 573-256-7200

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 CERTIFICATE OF AUTHORITY:
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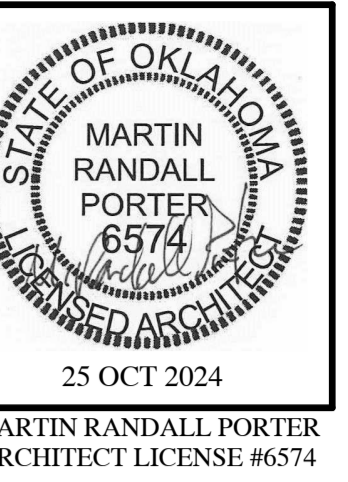
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RIVER BEND VILLAS - STORM SHELTER



CHICKASHA, GRADY COUNTY, OKLAHOMA

PROJECT INFORMATION

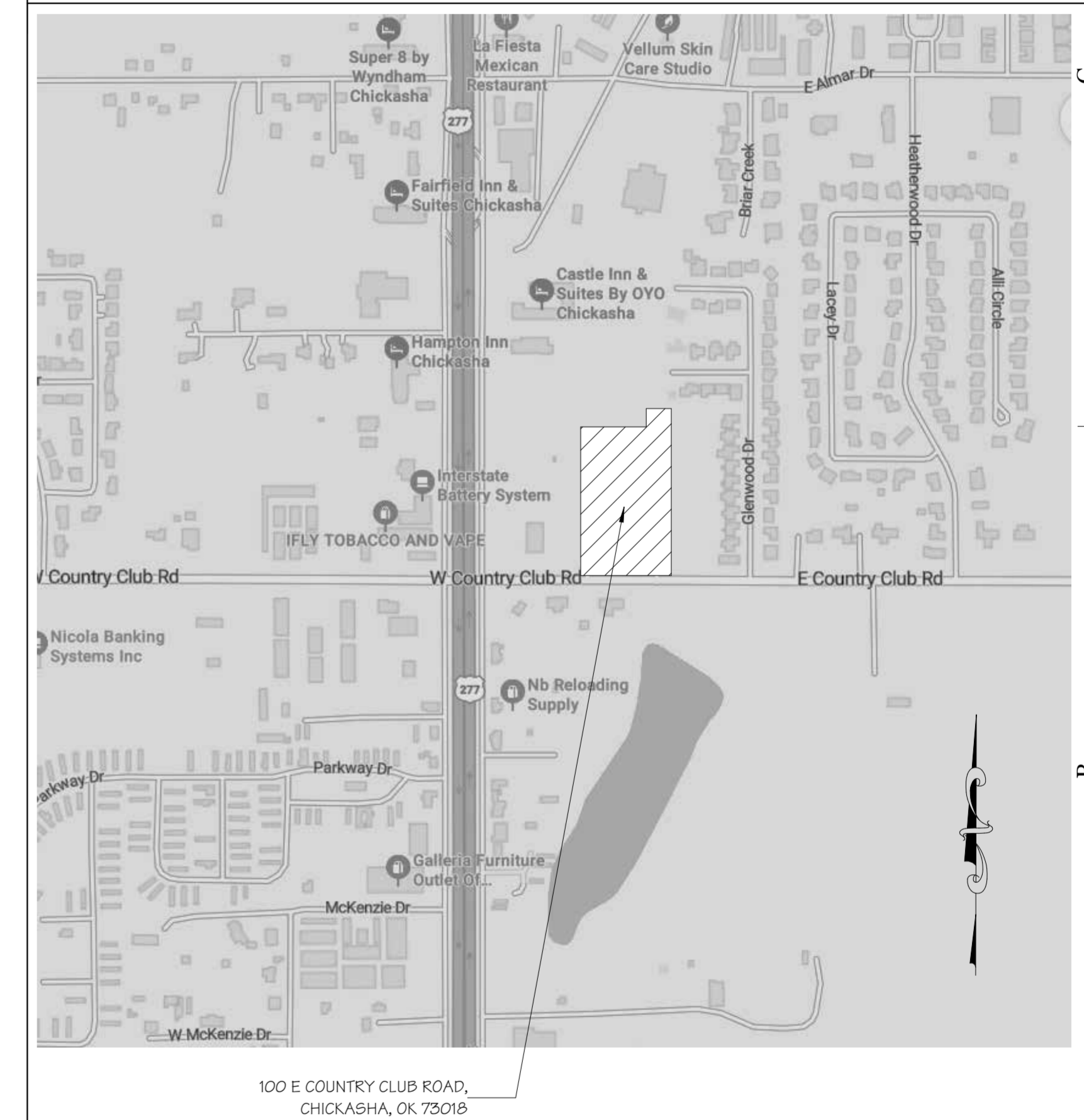
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SITE SIZE:	(SEE CIVIL)				
SITE DENSITY:	(SEE CIVIL)				
NO. OF PARKING SPACES:	(SEE CIVIL)				
BUILDING DATA					
DWELLING UNITS	COMPLIANCE WITH	SQUARE FEET OF AREA	SQUARE FEET PER PERSON	CALC.	OCCUPANT LOAD
STORM SHELTER	UFAS	523	15	34.87	35
RESTROOM	ADA 2010/UFAS	46			
TOTAL BUILDING OCCUPANT LOAD:					35 PERSONS
CODES AND REGULATIONS					
BLDG. & RELATED CODES:	2018 IBC, 2018 IECC, 2018 IMC, 2018 IPC, 2014 ICC 500				
ELECT. CODE:	2020 NEC				
FIRE CODE:	2018 IFC				
ACCESSIBILITY:	AMERICANS WITH DISABILITIES ACT - 2010, UFAS				
AGENCY:	OHFA STATE POLICIES AND GUIDELINES				
MISC.:	ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, LAWS AND ORDINANCES				
BUILDING CODE DATA					
USE GROUP:	A-3 (ASSEMBLY)				
CONSTRUCTION TYPE:	3B				
EXT. WALL CONSTRUCTION:	2-HR				
OTHER CONSTRUCTION:	STORM SHELTER EXTERIOR WALLS 2-HR; ALL OTHER INTERIOR WALLS AND CEILINGS UNRATED				
ALLOW. AREA:	A-3 = 6,000 SF/FLOOR				
AREA ADJUSTMENTS:	NONE REQUIRED, NONE TAKEN				
ACTUAL AREA PER FLOOR:	675 SF				
ALLOW. HEIGHT & FLOORS:	A-3 = 40'-0", 1 STORY				
HEIGHT ADJUSTMENTS:	NONE REQUIRED, NONE TAKEN				
ACTUAL HEIGHT & FLOORS:	15'-9", 1 STORY				
SPRINKLER SYSTEM:	NONE REQUIRED, NONE INSTALLED				

INDEX TO DRAWINGS

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date	Current Revision Description
1 - COVER SHEET				
0.05	COVER SHEET	25 OCT 2024	25 OCT 2024	ISSUE SET
2 - CIVIL SHEETS (BY CARLSON CONSULTING ENGINEERS, INC.)				
SHEET 1	TITLE SHEET	01 NOV 2024	01 NOV 2024	ISSUE SET
SHEET 2	OVERALL SITE PLAN	01 NOV 2024	01 NOV 2024	ISSUE SET
SHEET 3	SITE PLAN	01 NOV 2024	01 NOV 2024	ISSUE SET
SHEET 4	DETAILS	01 NOV 2024	01 NOV 2024	ISSUE SET
3 - STRUCTURAL SHEETS (BY CROCKETT ENGINEERING CONSULTANTS)				
S100	GENERAL STRUCTURAL DATA	25 OCT 2024	25 OCT 2024	ISSUE SET
S200	FOUNDATION PLAN	25 OCT 2024	25 OCT 2024	ISSUE SET
S300	CEILING / ROOF PLAN	25 OCT 2024	25 OCT 2024	ISSUE SET
S310	ROOF FRAMING DETAILS	25 OCT 2024	25 OCT 2024	ISSUE SET
S311	STORM SHELTER DETAILS	25 OCT 2024	25 OCT 2024	ISSUE SET
4 - ARCHITECTURAL				
A1.05	STORM SHELTER DIMENSION PLAN, DOOR SCHEDULE, WALL TYPES, DETAILS & NOTES	25 OCT 2024	25 OCT 2024	ISSUE SET
A1.15	STORM SHELTER ACCESSIBILITY & FINISH PLANS, FINISH SCHEDULE & NOTES	25 OCT 2024	25 OCT 2024	ISSUE SET
A2.05	STORM SHELTER ROOF PLAN, DETAILS & NOTES	25 OCT 2024	25 OCT 2024	ISSUE SET
A3.05	STORM SHELTER EXTERIOR ELEVATIONS	25 OCT 2024	25 OCT 2024	ISSUE SET
A4.05	WALL SECTIONS, FRAMING DETAILS & FIRE RATED ASSEMBLY	25 OCT 2024	25 OCT 2024	ISSUE SET
A7.05	INTERIOR ELEVATIONS NOTES AND DETAILS	25 OCT 2024	25 OCT 2024	ISSUE SET
5 - MECHANICAL & PLUMBING				
M1.05	STORM SHELTER HVAC & PLUMBING PLANS, NOTES & SCHEDULES	25 OCT 2024	25 OCT 2024	ISSUE SET
6 - ELECTRICAL				
E1.05	STORM SHELTER LIGHTING & POWER PLANS, NOTES & SCHEDULES	25 OCT 2024	25 OCT 2024	ISSUE SET

ARCHITECT'S JOB NO. 4780
OHFA PROJECT #24-01-06

PROJECT LOCATION MAP



SIGNATURE AREAS

NOTE: PROJECT CONSTRUCTION MUST BE IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, AND REGULATIONS AS ENUMERATED ELSEWHERE IN THE PLANS AND SPECIFICATIONS.

ARCHITECT: WALLACE ARCHITECTS, LLC
302 CAMPUSVIEW DRIVE SUITE 208, COLUMBIA, MO 65201
BY: _____ DATE: _____

OWNER: RIVER BEND VILLAS, LP
3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804
BY: _____ DATE: _____

CONTRACTOR: MURDOCH CONTRACTING, LLC
3556 SOUTH CULPEPPER CIRCLE, SUITE 1, SPRINGFIELD, MO 65804
BY: _____ DATE: _____

USDA RURAL DEVELOPMENT:
1400 INDEPENDENCE AVE. WASHINGTON, DC 20-250-0701
BY: _____ DATE: _____

PM: RS DT: TY
PC: CD QC: CR/JT PLAN SET NO. _____

ISSUE SET

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS, LLC
Columbia, MO
P 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
CA01173

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1ST ISSUE
25 OCT 2024

ISSUE/REVISIONS

NO.	DATE	DESCRIPTION
▲	25 OCT 2024	ISSUE SET
▲		
▲		
▲		

SHEET NO. **0.05**

JOB NO.
4780

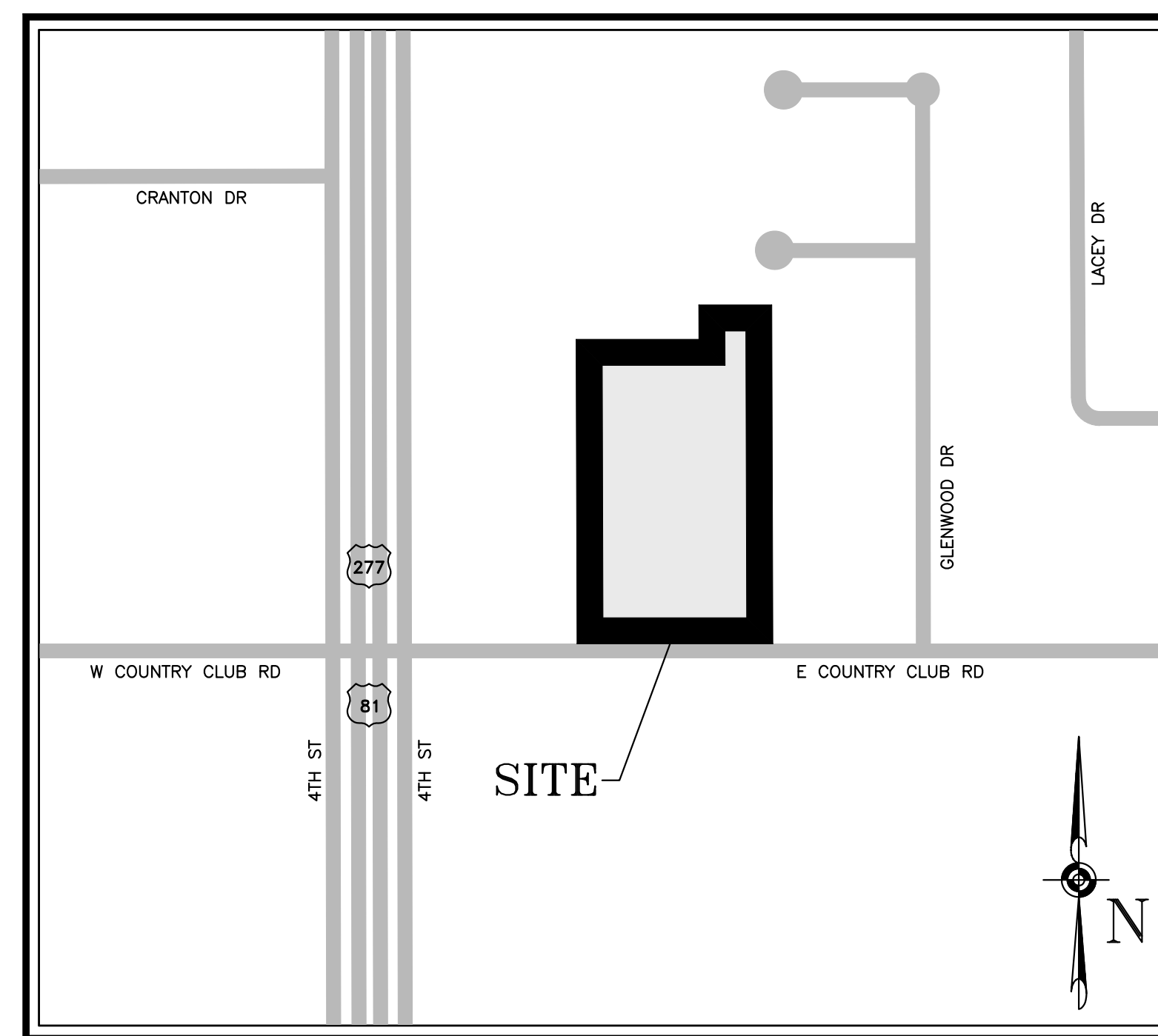
1/17/2024 4:03:58 PM

SITE IMPROVEMENT PLANS

STORM SHELTER ADDITION

RIVER BEND VILLAS

CHICKASHA, GRADY COUNTY, OKLAHOMA



VICINITY MAP
NTS

INDEX OF SHEETS

SHEET 1	TITLE SHEET
SHEET 2	OVERALL SITE PLAN
SHEET 3	SITE PLAN
SHEET 4	DETAILS



1400 INDEPENDENCE AVENUE
WASHINGTON, DC 20-250-0701
PH. 1 (800) 670-6553



CARLSON
CONSULTING
ENGINEERS, INC.

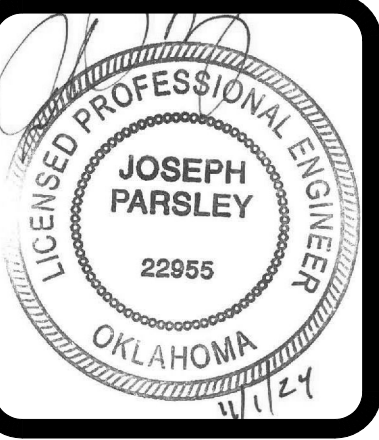
7068 LedgeStone Commons, Bartlett, TN 38133
Phone (901) 384-0404 • Fax (901) 384-0710
Texas Registered Engineering Firm F-9624

NO	REVISIONS

USDA RURAL DEVELOPMENT
 1400 INDEPENDENCE AVENUE
 WASHINGTON, DC 20250-0701
 PH. 1 (800) 670-6655

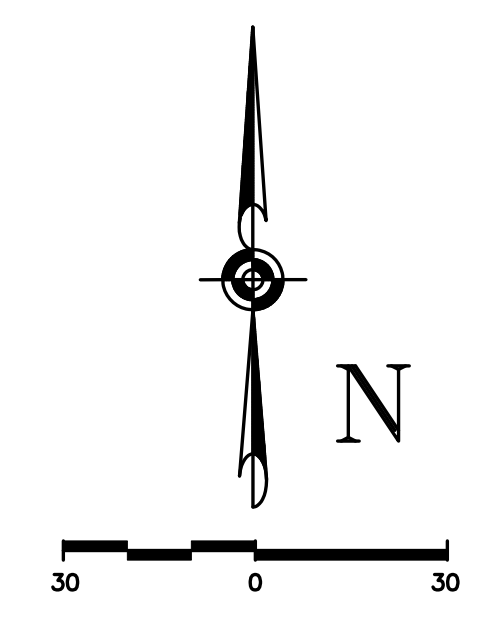
OVERALL SITE PLAN
 RIVER BEND VILLAS
 CHICKASHA, OKLAHOMA

CARLSON CONSULTING ENGINEERS, INC.
 7068 Ledgestone Commons
 Bartlett, TN 38133
 Phone (601) 394-0404
 Fax (601) 394-0710
 Oklahoma Registered Engineering Firm #CA 3224



DRAWN	JMC
CHECKED	JRB
DATE	11/1/2024
SCALE	1"=30'
JOB No.	N/A
SHEET	2 OF 4

TEMPORARY BENCHMARK #1
 ELEVATION 11140.50
 MONUMENT TOP NUT OF FIRE HYDRANT



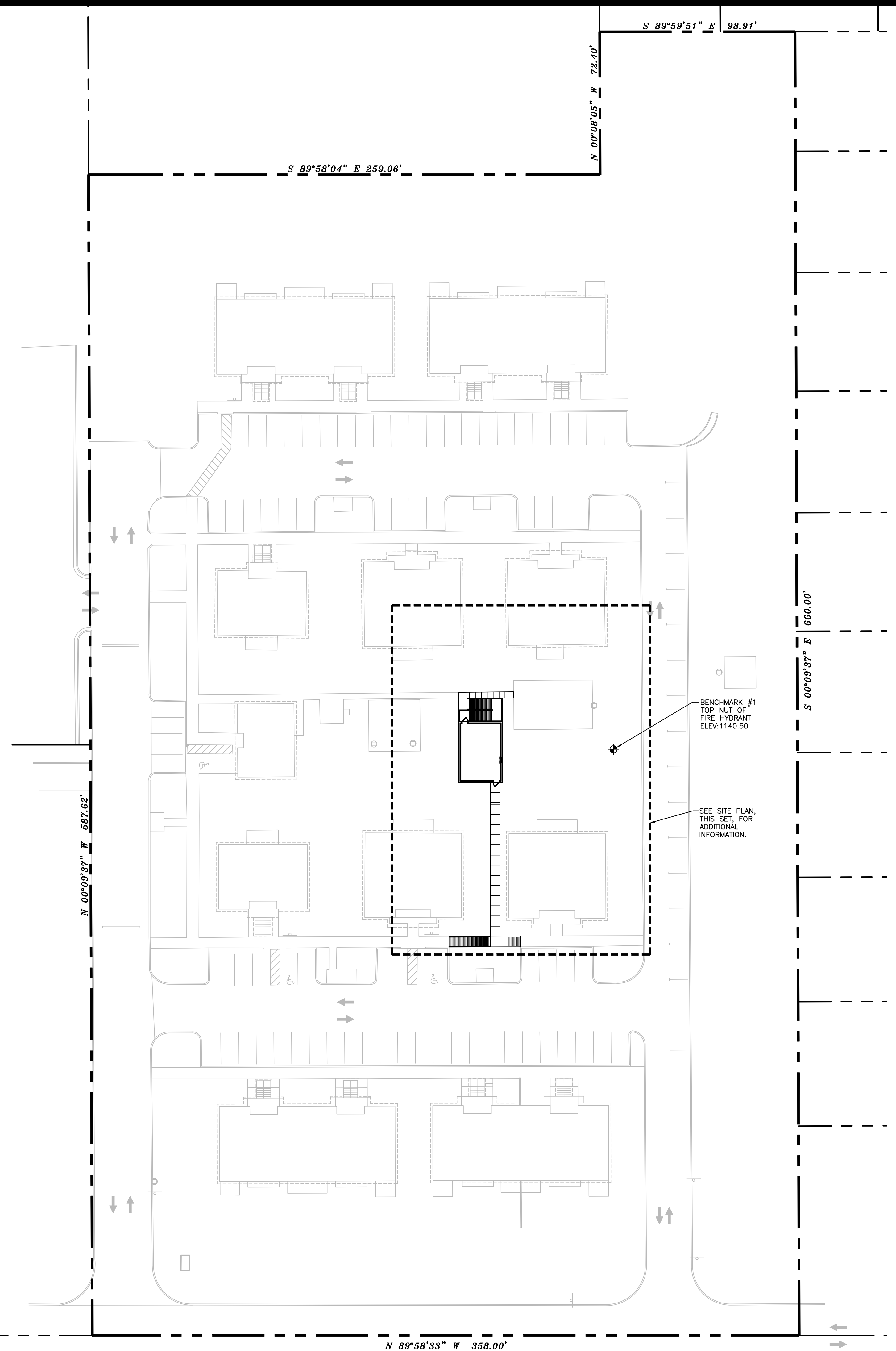
LEGEND

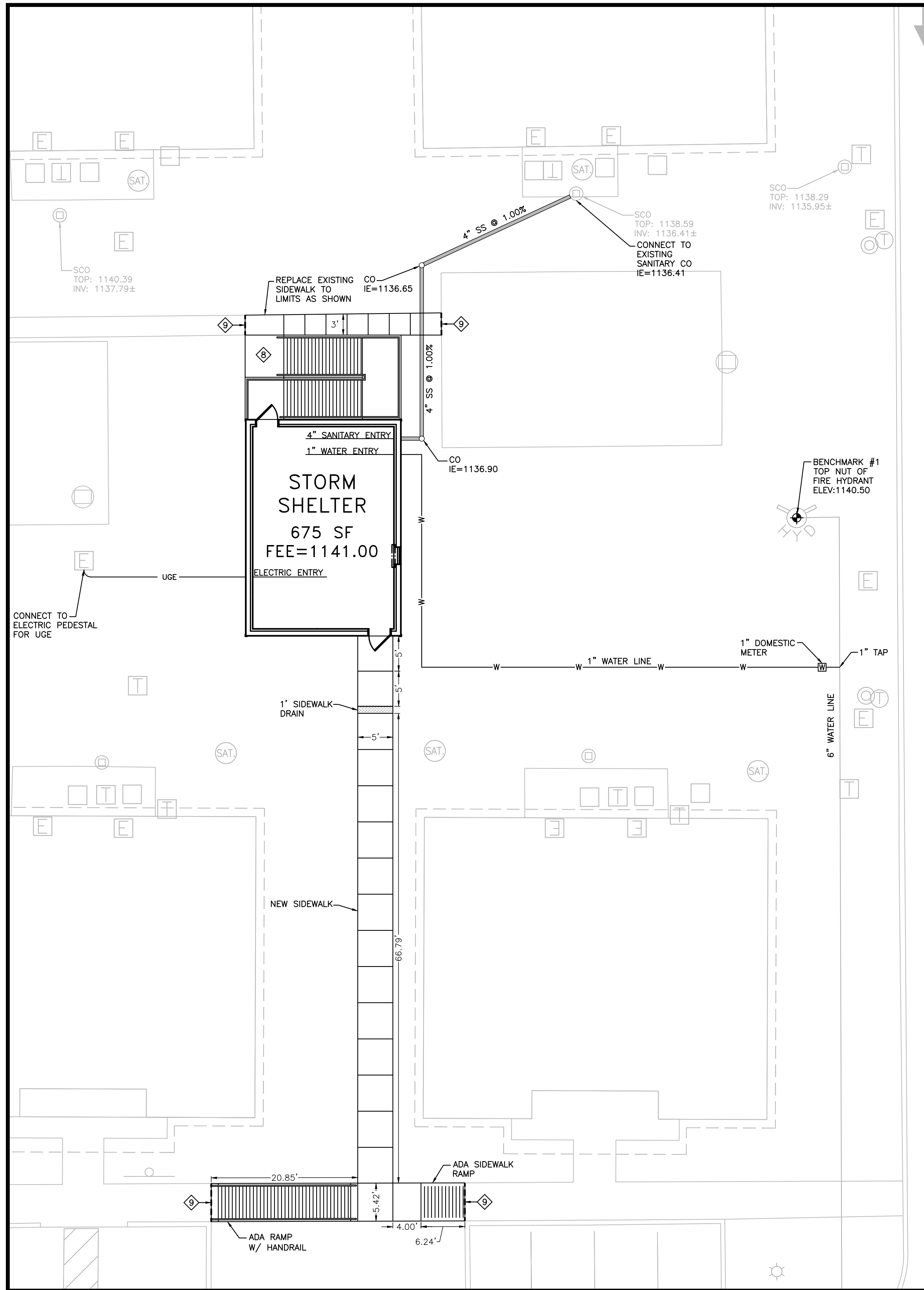
	- PROPERTY LINE
	- BUILDING SIDEWALK
	- HANDICAP PARKING SYMBOL
	- 6" RAISED CONCRETE CURB
	- SIGN
	- TRAFFIC FLOW ARROW

- NOTES:
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
 - ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
 - CROSS SLOPE ON ALL ADA ACCESSIBLE ROUTES (SIDEWALKS AND CROSSWALKS) SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 1:20. LONGITUDINAL SLOPE ON ALL RAMPS SHALL NOT EXCEED 1:12.

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEC AND CONSTRUCTION MANAGER. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEC AND CONSTRUCTION MANAGER HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

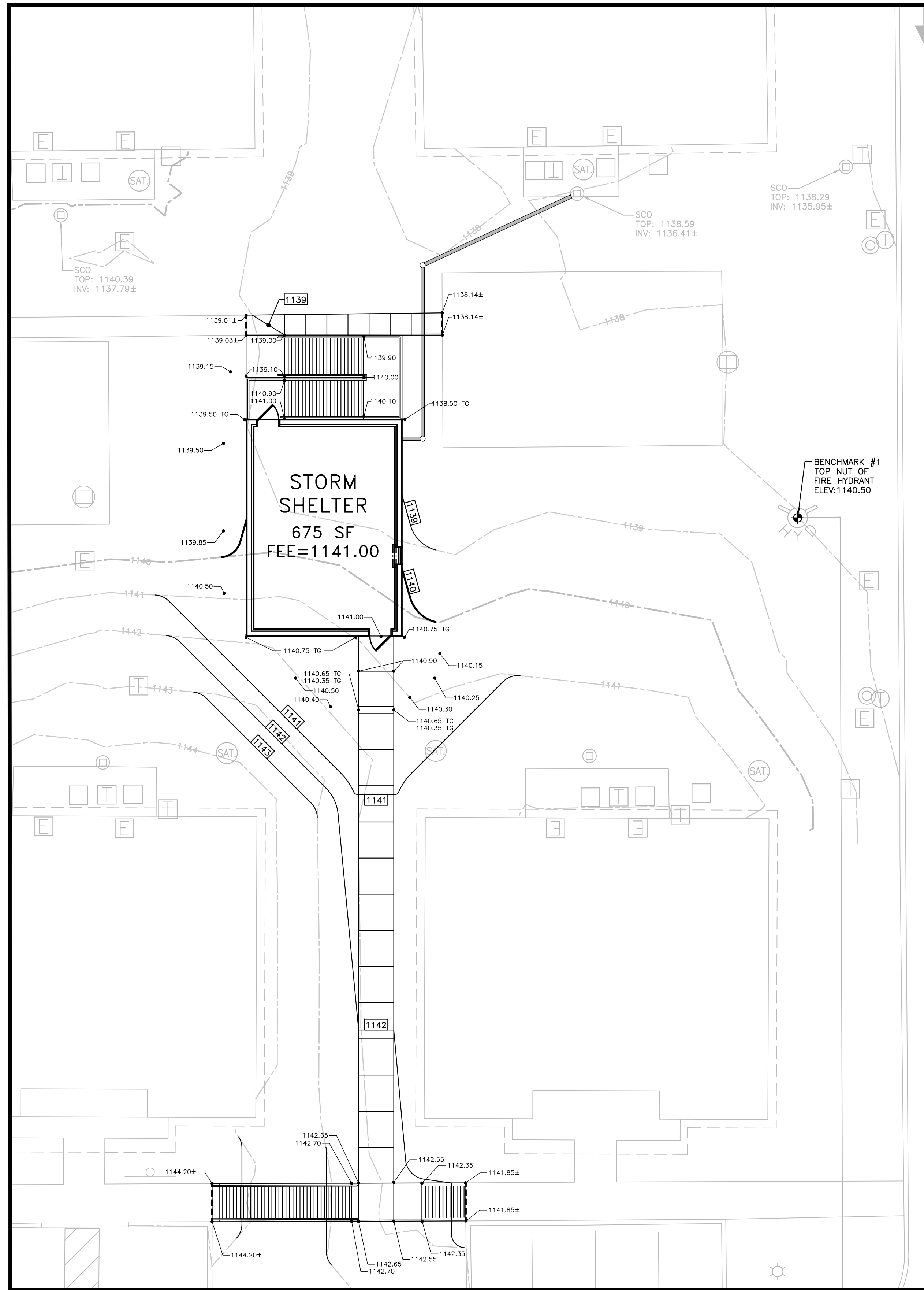




SITE/UTILITY PLAN
1"=10'

NOTES:

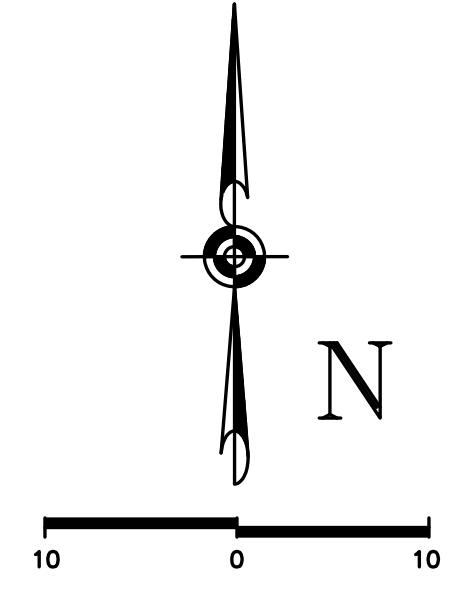
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- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO ACCOMMODATE PROPOSED IMPROVEMENTS AND TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE OWNER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION.
- REFER TO ARCHITECTURAL PLANS FOR SWITCH BACK RAMP DETAIL.
- CONTRACTOR SHALL SAWCUT ALONG THE EDGE OF PAVEMENT REMOVAL LIMITS TO ENSURE A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.



GRADING PLAN
1"=10'

NOTES:

- CROSS SLOPE ON ALL ADA ACCESSIBLE ROUTES (SIDEWALKS AND CROSSWALKS) SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 1:20. LONGITUDINAL SLOPE ON ALL RAMPS SHALL NOT EXCEED 1:12.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING A THROUGH KNOWLEDGE OF THE EXISTING CONDITIONS OF THE SITE, AND ALL DRAWINGS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO THE FAILURE OF THE GENERAL CONTRACTOR TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY CARLSON CONSULTING ENGINEERS, INC. ARE THE RESPONSIBILITY OF THE CONTRACTOR. ENGINEERS WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIAL, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL PROVIDE BMP'S SUCH AS, EROSION EELS, INLET FILTER SACKS, SILT DIKE ON PAVEMENT, ETC., DOWNGRADIENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.



LEGEND

	- SIDEWALK
	- SPOT ELEVATION
	- TOP OF CURB
	- TOP OF GROUND
	- TOP OF PAVEMENT
	- SAWCUT LIMITS
	- MAJOR CONTOUR
	- MINOR CONTOUR
	- CLEANOUT
	- SANITARY SEWER
	- MINOR CONTOUR
	- UGE
	- MINOR CONTOUR
	- WATER METER

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEC AND CONSTRUCTION MANAGER. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEC AND CONSTRUCTION MANAGER HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

NO	REVISIONS

USDA RURAL DEVELOPMENT
1400 INDEPENDENCE AVENUE
WASHINGTON, DC 20250-0701
PH. 1 (800) 670-6653

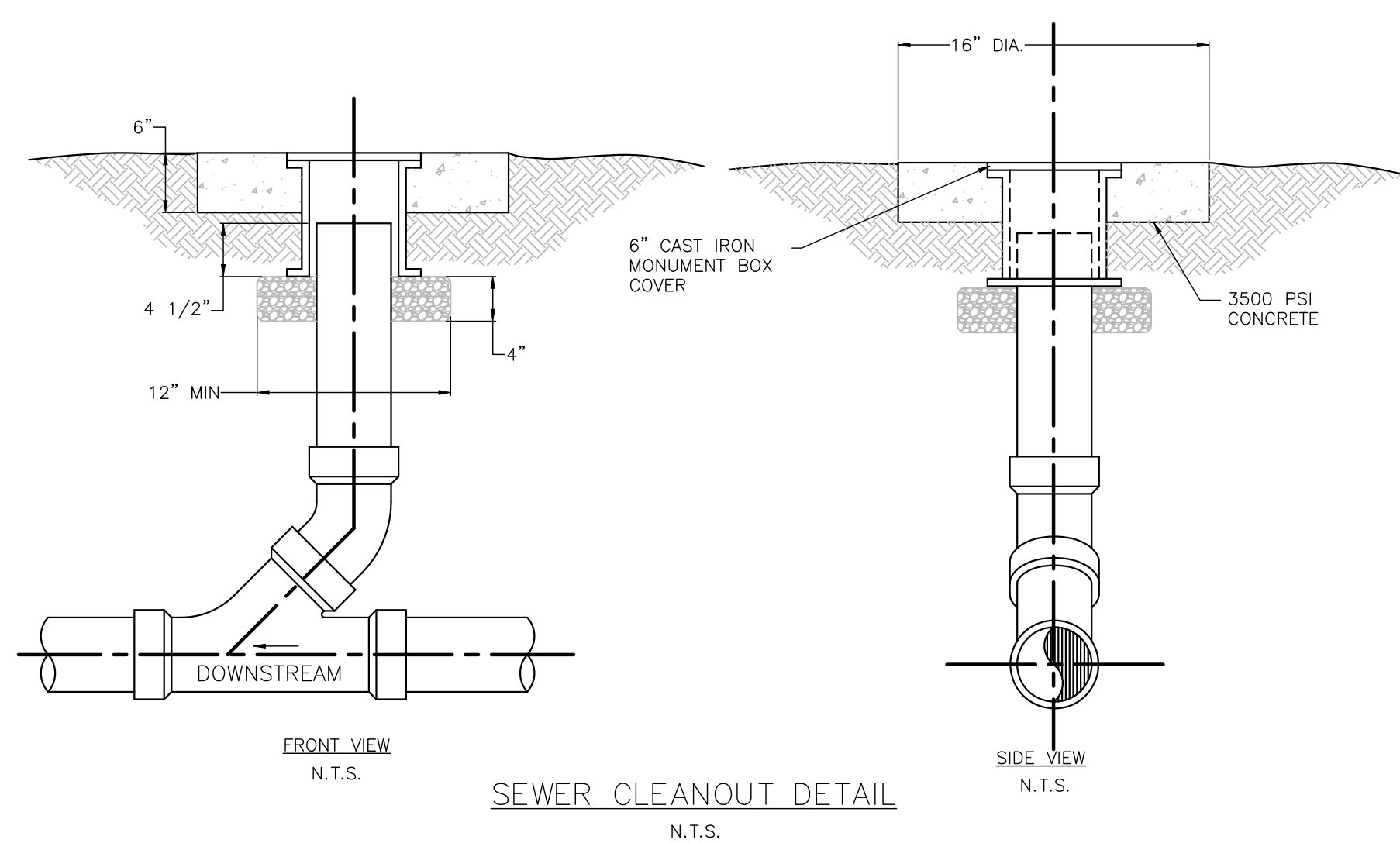
SITE PLAN
RIVER BEND VILLAS
CHICKASHA, OKLAHOMA

CARLSON CONSULTING ENGINEERS, INC.
70681 Leighton Commons
Bartlett, TN 38133
Phone (601) 384-0404
Fax (601) 384-0710
Oklahoma Registered Engineering Firm #CA 3224

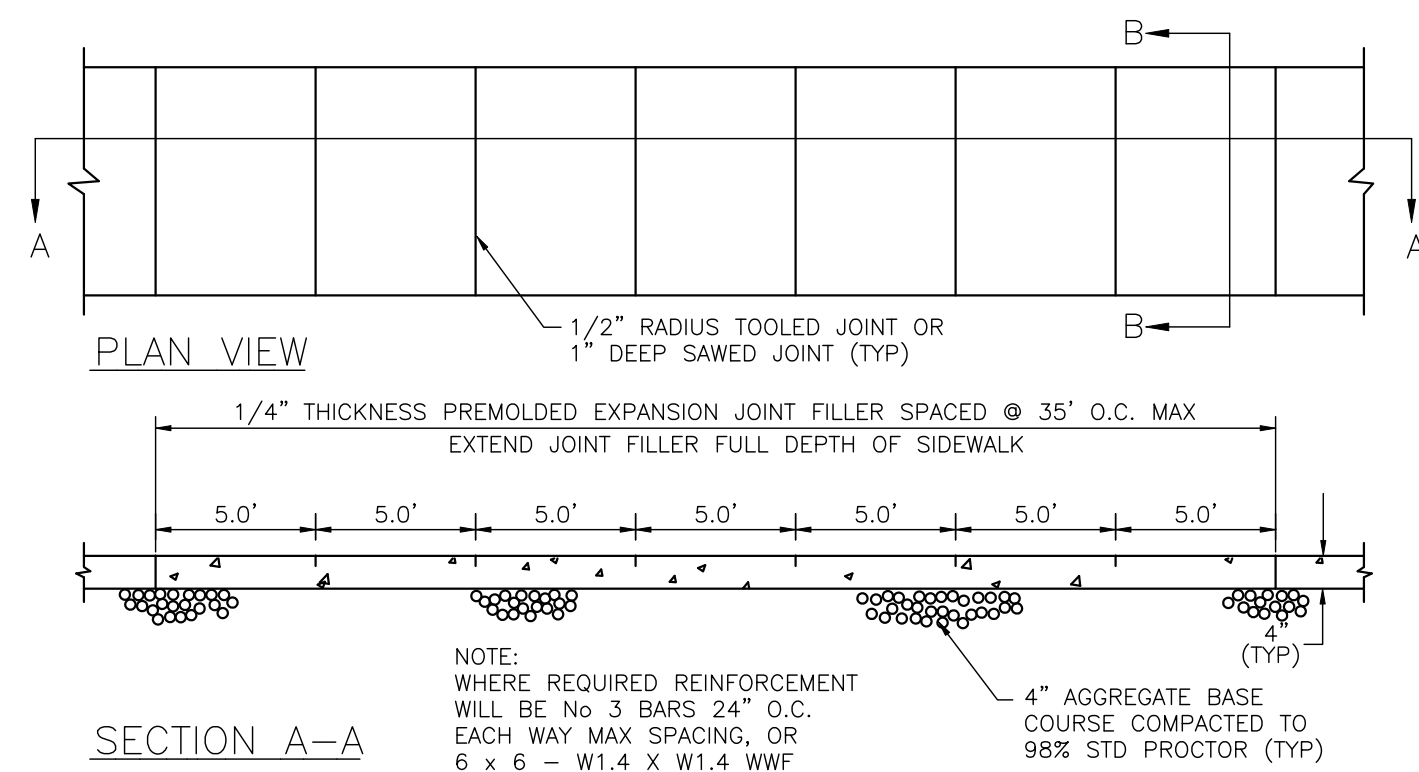
LICENSED PROFESSIONAL ENGINEER
JOSEPH PARSLEY
22955
OKLAHOMA
11/27



DRAWN	JMC
CHECKED	JRB
DATE	11/1/2024
SCALE	1"=10'
JOB No.	N/A
SHEET	3 OF 4



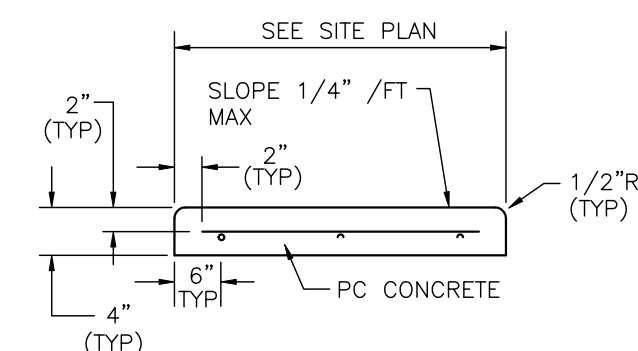
SEWER CLEANOUT DETAIL
N.T.S.



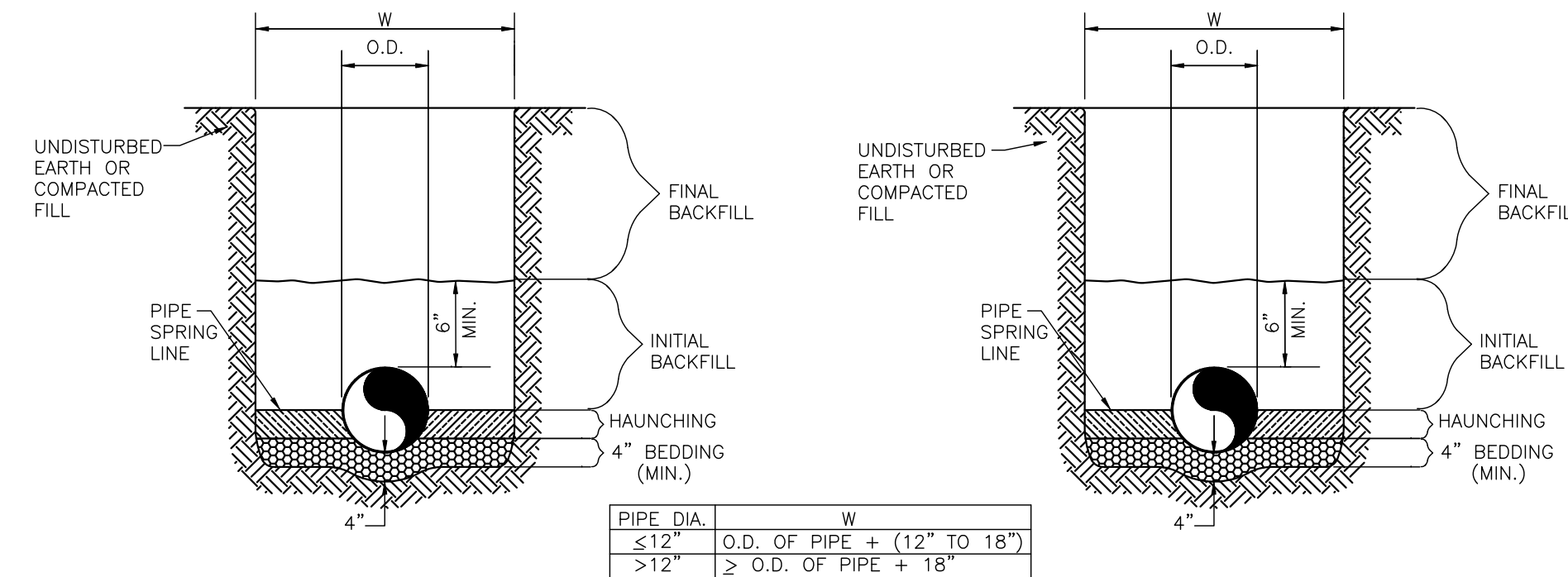
SECTION A-A

NOTE: WHERE REQUIRED REINFORCEMENT WILL BE NO. 3 BARS 24" O.C. EACH WAY MAX SPACING, OR 6 x 6 - W1.4 X W1.4 WWF (TYP)

NOTE: PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS



SECTION B-B



WATER LINE

N.T.S.

SANITARY SEWER

N.T.S.

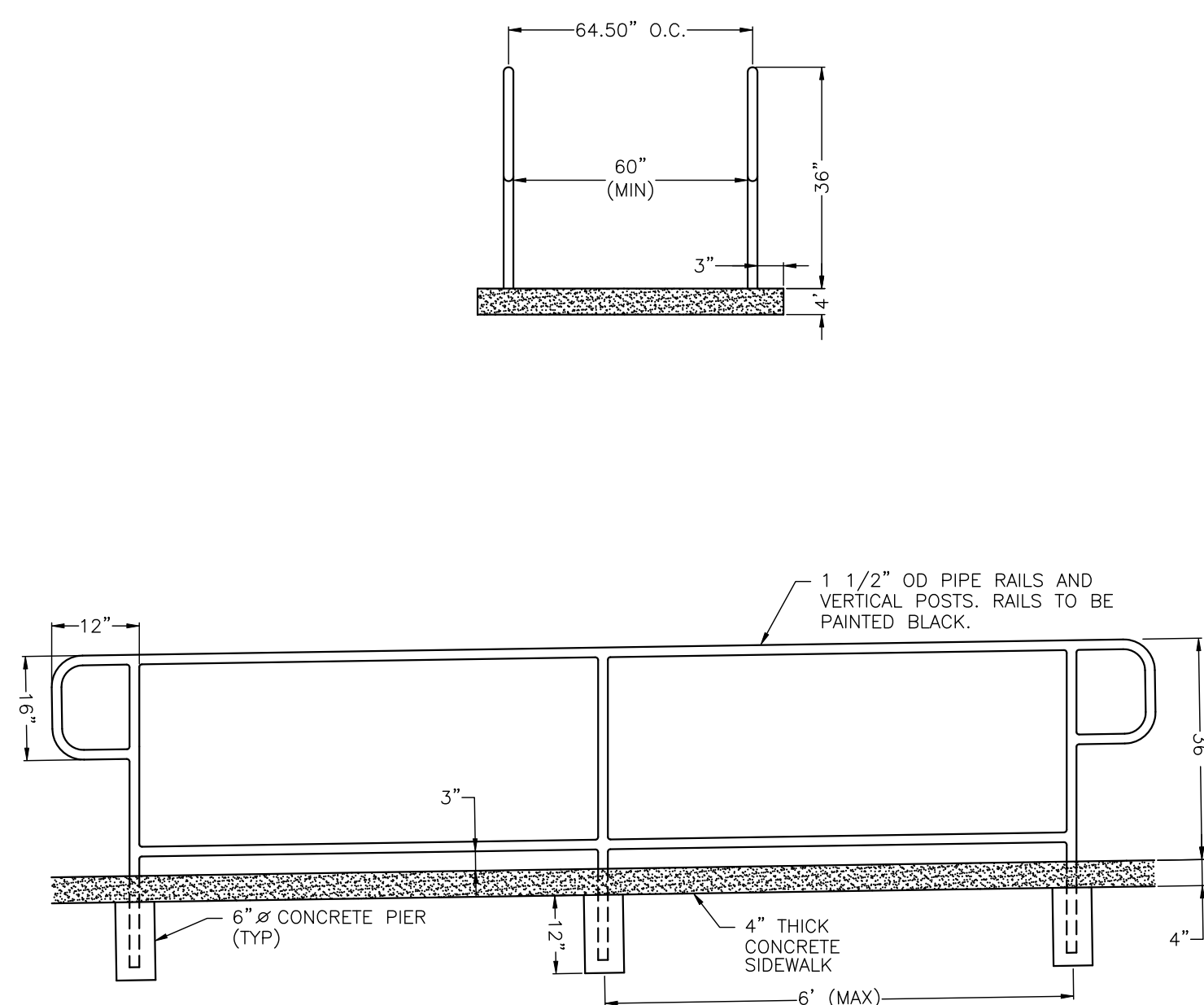
GENERAL NOTES

- BEDDING SHALL BE CLASS I WORKED BY HAND OR CLASS II COMPACTED TO 90% STANDARD PROCTOR.
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I OR CLASS II COMPACTED TO 90% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I WORKED BY HAND OR CLASS II COMPACTED TO 90% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED TO 98% STANDARD PROCTOR.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-11.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)
- ANY OPEN-GRADED MATERIAL MEETING THE REQUIREMENTS OF ASTM D 2321-11 MAY BE USED ONLY IF THE MATERIAL IS WRAPPED IN AN APPROVED FILTER OR DRAINAGE FABRIC (REFER TO SPECIFICATION SECTION 02300 FOR TYPE) AND WITH WRITTEN PERMISSION FROM THE CEC.
- THE UPPER 12 INCHES OF FINAL BACKFILL FOR ALL TRENCHES IN NON-PAVEMENT AREAS SHALL BE A LOW PLASTICITY COHESIVE FILL. REFER TO SITEMARK SPECIFICATION SECTION 02300 FOR ALLOWABLE "SATISFACTORY MATERIALS" AND COMPACTION REQUIREMENTS.

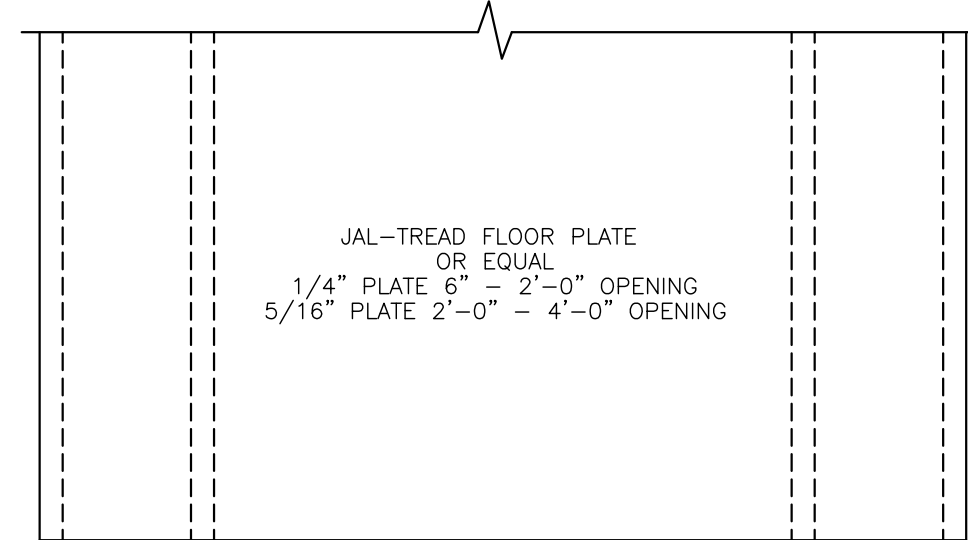
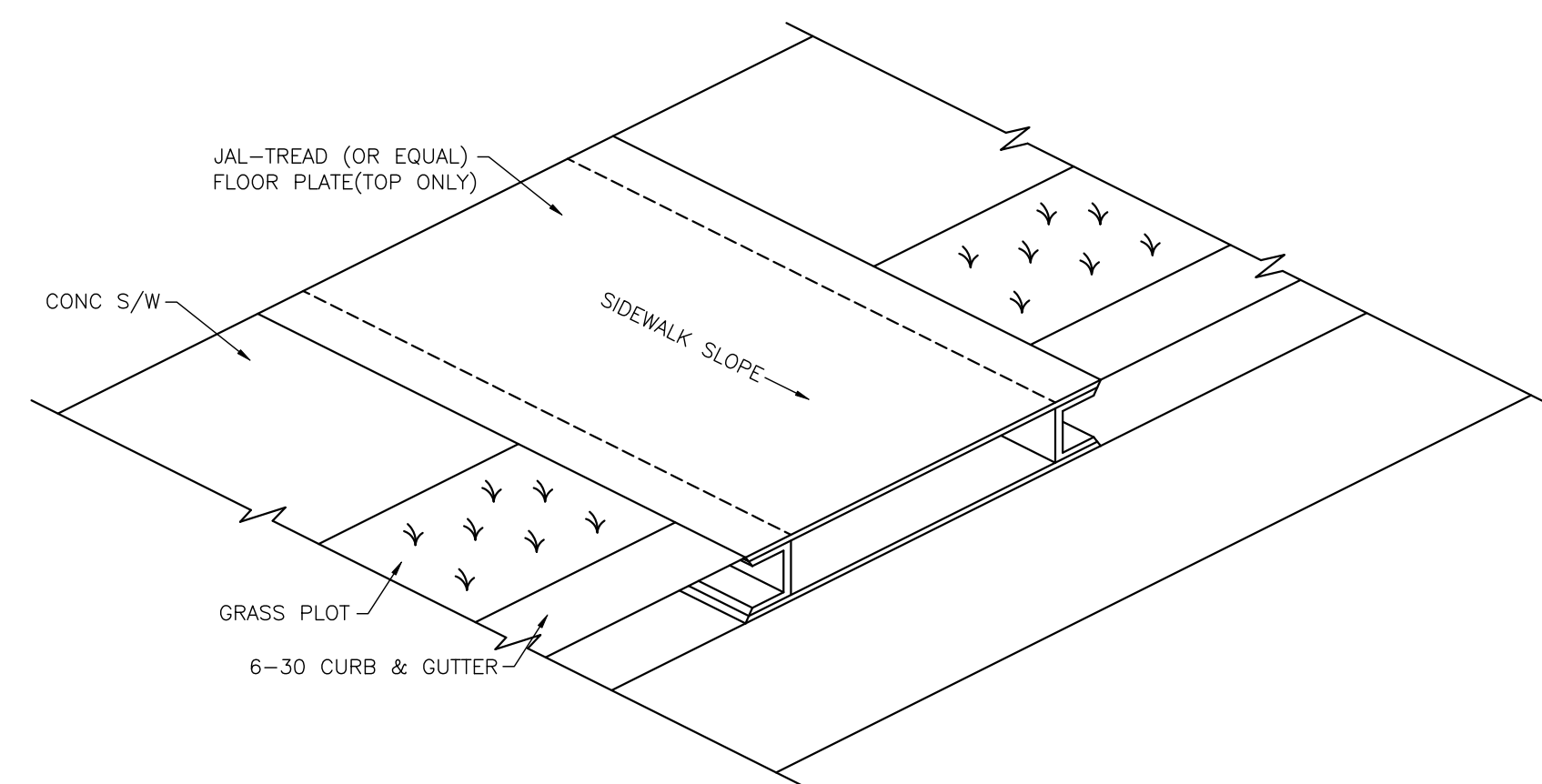
SANITARY SEWER CLEANOUT

SIDEWALK

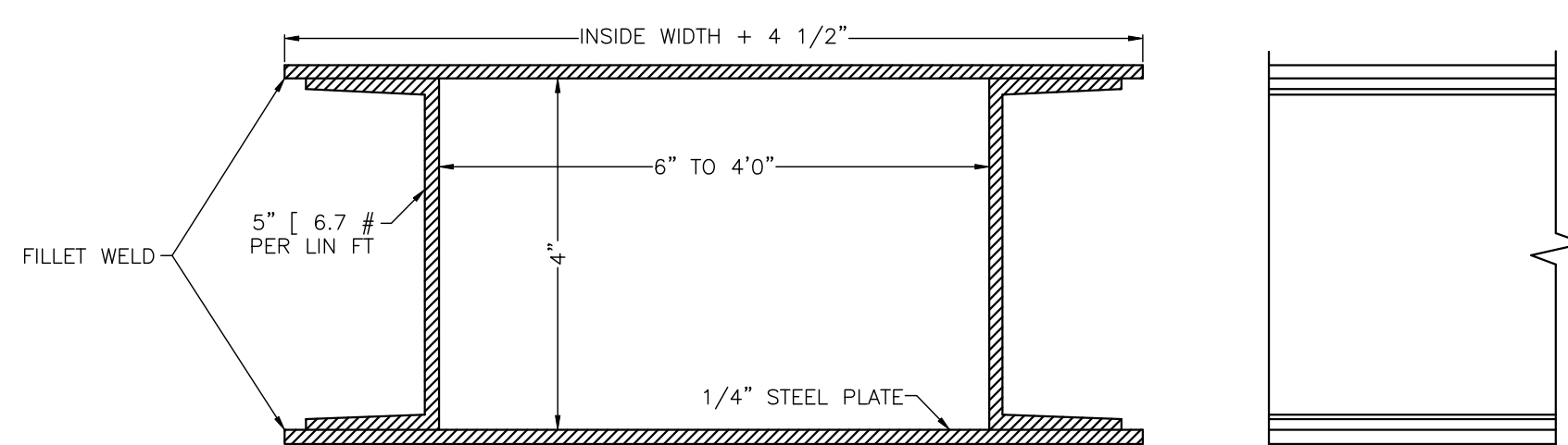
UTILITY TRENCHING



SIDEWALK HANDRAIL



TOP VIEW

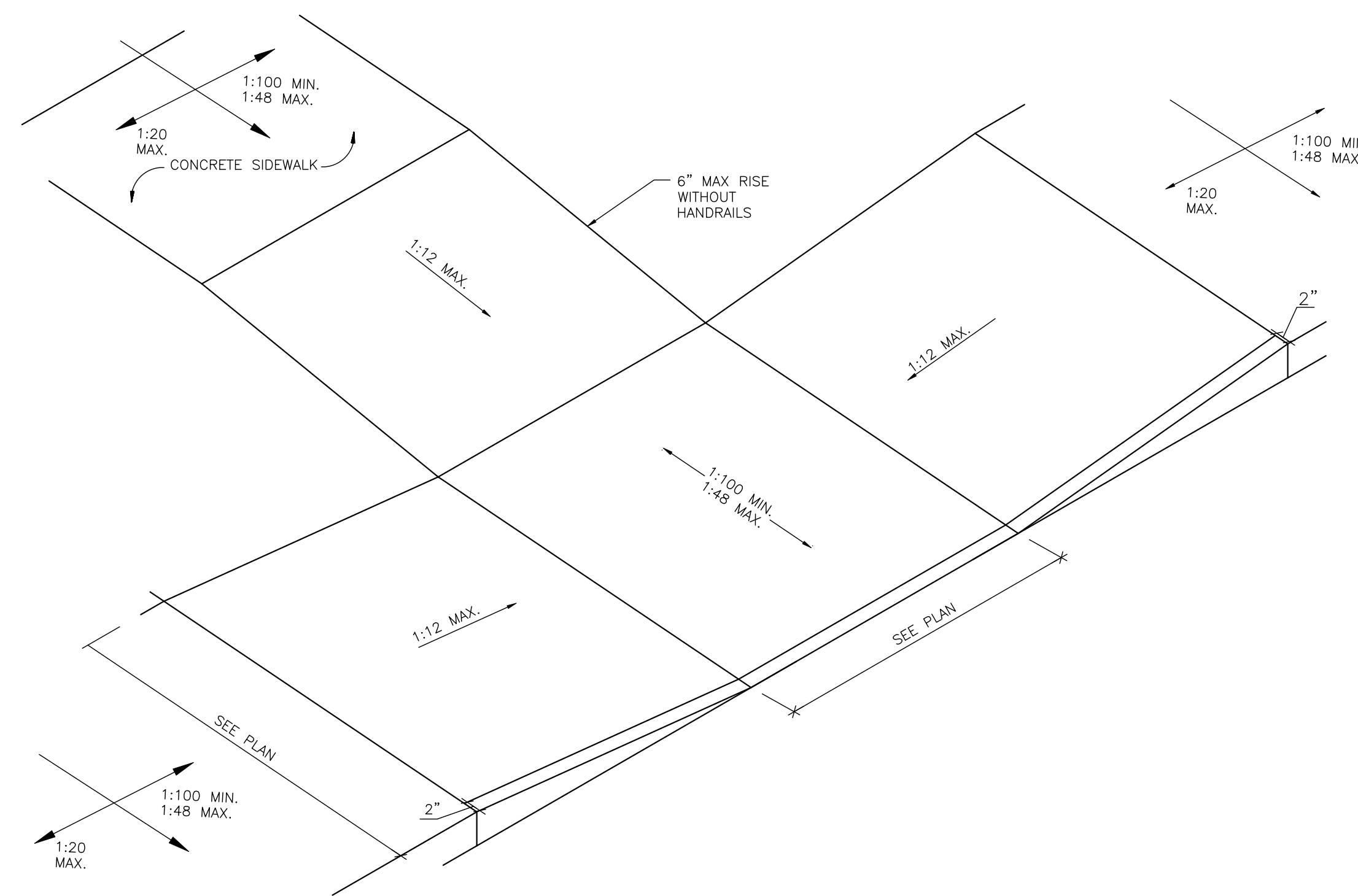


END VIEW

SIDE VIEW

PREFABRICATED SIDEWALK DRAIN

SIDEWALK DRAIN



CURB RAMP

NO	REVISIONS

USDA RURAL DEVELOPMENT
1400 INDEPENDENCE AVENUE
WASHINGTON, DC 20250-0701
PH. 1 (800) 670-6855

DETAILS
RIVER BEND VILLAS
CHICKASHA, OKLAHOMA

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7068 Ledgestone Commons
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Phone (601) 394-0404
Fax (601) 394-0710
Oklahoma Registered Engineering Firm #CA 324

LICENSED PROFESSIONAL ENGINEER
JOSEPH PARSLEY
22955
OKLAHOMA
11/21

DRAWN JMC
CHECKED JRB
DATE 11/1/2024
SCALE AS NOTED
JOB No. N/A
SHEET 4 OF 4

Riverbend Villas - Storm Shelter

Chickasha, Grady County, Oklahoma

GENERAL NOTES

ELEVATION DATUM
SEE ARCHITECTURAL DRAWINGS OR SITE PLAN FOR FINISH FLOOR ELEVATIONS

DESIGN SPECIFICATIONS
2018 INTERNATIONAL BUILDING CODE

EARTHWORK
EARTHWORK OPERATIONS SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL TESTING AGENCY TO ASSURE COMPLIANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 308 SPECIFICATIONS FOR HOT WATER CONCRETE, AND ACI 306 SPECIFICATIONS FOR COLD WEATHER CONCRETE, WITH THE FOLLOWING ADDITIONAL REQUIREMENTS:

- CONCRETE SHALL DEVELOP THE FOLLOWING 28-DAY MINIMUM COMPRESSIVE STRENGTH:

FOUNDATIONS	-	3,000 PSI
CAST-IN-PLACE WALLS	-	3,500 PSI
FLOOR SLAB	-	4,000 PSI
EXTERIOR SLABS, WALLS AND CURBS	-	4,000 PSI
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.
- CHLORIDE-BASED ADMIXTURES ARE PROHIBITED IN ALL REINFORCED CONCRETE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, A616, OR A617, GRADE 60.
- ALL CONTINUOUS REINFORCING STEEL THAT MEETS AT A CORNER SHALL BE TIED TOGETHER WITH A CORNER BAR THAT HAS SUFFICIENT LAP DISTANCE IN EACH DIRECTION.
- CONTINUOUS REINFORCING BARS LAP LENGTH SHALL BE A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- CONCRETE SLUMP SHALL BE A MAXIMUM OF 4" +/- 1" (ASTM C- 143) AS DELIVERED IN THE FIELD. CONTRACTOR MAY USE CHEMICAL ADMIXTURES TO ATTAIN A MAXIMUM SLUMP OF 8" FOR WORKABILITY. NO WATER MAY BE ADDED TO THE CONCRETE MIX ON SITE UNLESS WATER IS WITHHELD AT THE BATCHING FACILITY. IF WATER IS WITHHELD AT THE BATCHING FACILITY IT SHOULD BE REFLECTED ON THE LOAD TICKET. THE TOTAL AMOUNT OF WATER IN THE MIX SHALL NOT EXCEED WHAT IS NOTED ON THE APPROVED MIXED. THIS SHALL BE NOTED IN THE SPECIAL INSPECTOR'S RECORDS.
- CONCRETE EXPOSED TO WEATHER, VEHICLES, AND/OR BEING CHEMICALS SHALL BE AIR-ENTRAINED WITH 6% (+/-) 1.5% ENTRAINED AIR BY VOLUME AT POINT OF DISCHARGE. DO NOT ALLOW AIR CONTENT OF TROWELED FINISHED FLOORS TO EXCEED 3%.
- SUBMIT CONCRETE MIX PROPORTIONS PRIOR TO START OF WORK. DO NOT BEGIN CONCRETE PRODUCTION UNTIL MIXES HAVE BEEN REVIEWED AND ARE ACCEPTABLE TO THE ENGINEER.
- READY MIX CONCRETE SHALL COMPLY WITH REQUIREMENTS OF ASTM C94.
- CONCRETE WORK EXECUTION
 - CONSTRUCT FORMS TO CORRECT SIZE, SHAPE, ALIGNMENT, ELEVATION AND POSITION; AND TO SUPPORT VERTICAL AND LATERAL LOADS.
 - POSITION, SUPPORT, AND SECURE REINFORCEMENT AGAINST DISPLACEMENT. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

CAST AGAINST AND EXPOSED TO EARTH.....	3 INCHES
EXPOSED TO EARTH OR WEATHER.....	2 INCHES
NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH.....	1 1/2 INCHES
 - PROVIDE CONTROL JOINTS IN SLABS-ON-GRADE AT NOT GREATER THAN 15 FEET ON CENTER IN EACH DIRECTION. SAW CUT CONTROL JOINTS MINIMUM 1/4 OF SLAB DEPTH, AS SOON AFTER SLAB FINISHING WITHOUT DISLOGGING AGGREGATE.
 - STEEL TROWEL FINISH ALL INTERIOR CONCRETE SLABS, BROOM FINISH ALL EXTERIOR CONCRETE SLABS.
 - CURE ALL CONCRETE IN COMPLIANCE WITH ACI 301, USING A LIQUID TYPE MEMBRANE, NON-RESIDUAL, CURING COMPOUND COMPLYING WITH ASTM C309. ASSURE COMPATIBILITY WITH FINISH FLOOR COVERING.

POST-INSTALLED ANCHORS

- ALL POST-INSTALLED ANCHORS SHALL MEET THE REQUIREMENTS OF THE CODE-CITED EDITION OF ACI 318, APPENDIX "D", AND SHALL BE ACCEPTABLE FOR BOTH CRACKED AND UNCRACKED CONCRETE.
- EXPANSION ANCHORS HAVE BEEN DESIGNED AS HILTI KWIK BOLT TZ ANCHORS, UNLESS NOTED OTHERWISE.
- ADHESIVE ANCHORS HAVE BEEN DESIGNED TO USE HILTI HIT HY 200 ADHESIVE IN CONCRETE OR SOLID MASONRY, UNLESS NOTED OTHERWISE.
- EQUIVALENT ANCHORS MAY BE SUBMITTED FOR THE ENGINEER'S APPROVAL. SUBMITTALS ARE THE CONTRACTOR'S RESPONSIBILITY AND MUST INCLUDE EVALUATION REPORTS FROM THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
- EMBEDMENT DEPTH IS DEFINED AS THE DISTANCE FROM THE SURFACE OF THE LOAD-BEARING BASE MATERIAL TO THE DEEPEST PART OF THE ANCHOR AFTER THE ANCHOR HAS BEEN DRIVEN INTO THE HOLE BUT NOT YET EXPANDED.
- ADHESIVE ANCHORS SHALL BE ACCEPTABLE FOR LONG-TERM LOADING, WHEN BASE MATERIAL TEMPERATURES ARE BELOW 40 DEG F, ONLY NON-EPOXY-BASED ADHESIVES SHALL BE USED.
- POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO USING POST-INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST-IN-PLANE ANCHORS. CARE SHALL BE TAKEN TO AVOID CONFLICTS WITH EXISTING REINFORCING BARS. HOLES SHALL BE DRILLED AND CLEANED PER ANCHOR MANUFACTURER'S SPECIFICATIONS.
- STAINLESS STEEL ANCHORS ARE REQUIRED AT ALL PERMANENTLY EXPOSED WEATHER CONDITIONS.

TIMBER

TIMBER WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE CURRENT ANSI/AWC NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH 2015 NDS SUPPLEMENT FOR WOOD CONSTRUCTION, WITH THE FOLLOWING SUPPLEMENTAL REQUIREMENTS:

- FOR COMMON MEMBER SIZES, THE SPECIES AND GRADES SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

A.	2X4	SPF No.1/No.2
B.	2X6	SPF No.1/No.2
C.	2X8	DF-L No.2
D.	2X10	DF-L S.S.
E.	2X12	DF-L S.S.
- EQUIVALENT (OR BETTER) GRADES & SPECIES MAY BE SUBMITTED FOR THE ENGINEER'S APPROVAL.
- SIZES SHOWN FOR LUMBER ARE NOMINAL SIZES.
- TIMBER EXPOSED TO WEATHER OR GROUND, OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-IMPREGNATED BY AN APPROVED PROCESS AND PRESERVATIVE.
- SPICING OF JOISTS, STUDS, OR HEADERS IS PROHIBITED EXCEPT AS SHOWN.
- BOLTS SHALL CONFORM TO ASTM A307. HOLES SHALL BE DRILLED PER SECTION 12.1.3 OF THE 2015 ANSI/AWC NDS FOR WOOD CONSTRUCTION NDS SUPPLEMENT.
- LAG SCREWS AND WOOD SCREWS SHALL BE INSTALLED PER SECTIONS 12.1.4 & 12.1.5 RESPECTIVELY, OF THE 2015 ANSI/AWC NDS FOR WOOD CONSTRUCTION WITH 2015 NDS SUPPLEMENT.
- COMMON NAILS SHALL BE USED, UNLESS NOTED OTHERWISE. IN ADDITION, NAILS SHALL BE GALVANIZED, IF EXPOSED TO WEATHER OR MOISTURE. TOE-NAILS SHALL BE DRIVEN PER SECTION 12.1.6.3 OF THE 2015 ANSI/AWC NDS FOR WOOD CONSTRUCTION WITH 2015 NDS SUPPLEMENT.
- FASTENING SHALL BE PER THE IBC MINIMUM FASTENING SCHEDULE, TABLE 2304.10.1, UNLESS NOTED OTHERWISE.
- CONNECTIONS/CONNECTORS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

BRICK LINTELS

- ALL STEEL LINTELS TO BE A36 STEEL, A992 GRADE 50, OR A500 GRADE B. ALL LINTELS TO BE HOT DIPPED GALVANIZED.

STRUCTURAL STEEL

- FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES AND CURRENT OSHA STANDARDS.
- WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992. STRUCTURAL TUBES SHALL CONFORM TO ASTM A500 GRADE B. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36.
- BOLTS, UNLESS OTHERWISE SHOWN, SHALL CONFORM TO ASTM A325-N, SIZE AS PER PLAN.
- ANCHOR BOLTS, UNLESS OTHERWISE SHOWN, SHALL CONFORM TO ASTM F1554 GRADE 36.
- SPICING OF STRUCTURAL STEEL IS PROHIBITED EXCEPT AS DETAILED.
- ALL STRUCTURAL AND MISCELLANEOUS STEEL ITEMS SHALL RECEIVE ONE COAT OF "IRONGLAD RETARDO RUST INHIBITIVE PAINT 163" (BENJAMIN MOORE) OR APPROVED EQUAL UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS. ALL STEEL SURFACES EMBEDDED IN CONCRETE SHALL NOT BE PAINTED. PREPARATION OF STEEL SURFACES SHALL MEET THE REQUIREMENTS OF THE STEEL STRUCTURES PAINTING COUNCIL (SSPC-SP1) AND THE REMOVAL OF GREASE AND OIL BY SOLVENT CLEANING (SSPC-SP1) AND THE REMOVAL OF MILL SCALE, RUST, WELD FLUX AND SLAG BY HAND TOOL CLEANING (SSPC-SP2). PRIMER SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE BUT NOT LESS THAN ONE GALLON PER 400 SQ.FT. THEREBY DEPOSITING A DRY FILM THICKNESS OF NOT LESS THAN 1.5 MILS. ANY SCARRED AREAS SHALL BE TOUCHED UP WITH THE SAME PAINT AFTER ERECTION.
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS IN ACCORDANCE WITH THE CURRENT EDITION OF THE AWS STRUCTURAL WELDING CODE. WELDING ELECTRODES SHALL BE E70XX.

NON-COMPOSITE DECK / SUSPENDED SLABS

- FABRICATE RIBBED-STEEL-SHEET NONCOMPOSITE FORM-DECK PANELS TO COMPLY WITH "SDI SPECIFICATIONS AND COMMENTARY FOR NONCOMPOSITE STEEL FORM DECK," IN SDI PUBLICATION NO. 31.
- GALVANIZED-STEEL SHEETS SHALL BE CONSTRUCTED TO MEET ASTM A 653, STRUCTURAL STEEL (SS), GRADE 33, G30 ZINC COATING.
- DECK BUNDLES SHALL BE PLACED ON JOISTS WITH EXTREME CAUTION, FOLLOWING THE JOIST MANUFACTURER'S RECOMMENDATIONS FOR PROPER PLACEMENT. DECKING OR DECK ACCESSORY BUNDLES SHALL NOT EXCEED 4000 LBS.
- DECK SHALL BE CONTINUOUS OVER A MINIMUM OF THREE SPANS.
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS, IN ACCORDANCE WITH THE CURRENT EDITION OF THE AWS D1.3 - STRUCTURAL WELDING CODE - SHEET STEEL (AND COMMENTARY). WELDING ELECTRODES SHALL BE E6022.
- SHORING OF STRUCTURAL STEEL OR DECK MEMBERS PRIOR TO CASTING CONCRETE IS NOT REQUIRED.
- DEPTH OF CONCRETE SLAB SHALL BE BY GAGE/MEASUREMENT METHOD, NOT BY TRANSIT OR SITE LEVEL METHOD PER ACI 117-90 FOR SUSPENDED SLABS. FLOOR FLATNESS (FF) TO EXCEED 35 FOR ALL SUSPENDED SLABS NOT INTENDED FOR ROOFS.
- NON-COMPOSITE SLABS SHALL NOT BE SAW CUT.

PREFABRICATED WOOD TRUSSES

- FLOOR & ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE (TPI) DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES, AND THE ANSI/NF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.
- PROVIDE TEMPORARY AND PERMANENT BRACING ON ALL TRUSSES, AS REQUIRED TO PROVIDE MEMBER AND TRUSS STABILITY.
- FLOOR & ROOF TRUSSES SHALL BE DESIGNED AND CONSTRUCTED FOR A MAXIMUM TOTAL LOAD DEFLECTION OF L/360 AND TO SAFELY SUPPORT THE FOLLOWING LOADS:
 - DEAD, LIVE, SNOW, WIND, EARTHQUAKE: SEE PROJECT DESIGN DATA ON COVER SHEET.
 - MECHANICAL PIPE LOAD: TRUSSES SHALL BE DESIGNED FOR A CONCENTRATED LOAD OF 250 LBS HUNG ANYWHERE ALONG THE BOTTOM CHORD.
 - OVER-FRAMING LOAD: TRUSSES SHALL ALSO BE DESIGNED TO SUPPORT ADDITIONAL OVERBUILD FRAMING, SUCH AS THAT WHICH FORMS VALLEYS AND HIPS ON ROOFS.
 - DRIFTED SNOW LOAD: TRUSSES SHALL BE DESIGNED TO SUPPORT DRIFTED SNOW LOADS IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE.
 - IN-PLANE LATERAL LOADS: TRUSSES SHALL BE DESIGNED TO SUPPORT ANY LATERAL LOADS CARRIED AXIALLY IN THE PLANE OF THE TRUSS, AS SHOWN ON THE PLANS.
- GABLED END TRUSSES SHALL HAVE VERTICAL MEMBERS SPACED AT 16" O.C. MAXIMUM.
- SUBMITTALS SHALL INCLUDE THE FOLLOWING:
 - SHOP DRAWINGS PREPARED UNDER THE SUPERVISION OF, AND SIGNED AND SEALED BY, A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS BUILT. THESE DRAWINGS SHALL INDICATE SPECIES, GRADE, AND SIZES OF LUMBER TO BE USED; PITCH, SPAN, CAMBER, CONFIGURATION, AND SPACING FOR EACH TYPE OF TRUSS REQUIRED; TYPE, SIZE, MATERIAL, FINISH, AND LOCATION OF METAL CONNECTOR PLATES; AND BEARING DETAILS. SHOW TRUSS LAYOUT AND ALL REQUIRED TEMPORARY AND PERMANENT BRACING AFFECTING THE STRUCTURAL CAPACITY OF THE TRUSSES.

PROVIDE COMPLETE ENGINEERING DESIGN CALCULATIONS THAT INCLUDE DESIGN VALUES, DESIGN ANALYSIS INDICATING LOADING, ASSUMED ALLOWABLE STRESSES, STRESS DIAGRAMS, AND CALCULATIONS, AND ANY OTHER INFORMATION NEEDED FOR REVIEW. THE CALCULATIONS SHALL HAVE BEEN SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER WHO IS REGISTERED IN THE STATE WHERE THE PROJECT IS BUILT AND WHO IS RESPONSIBLE FOR PREPARATION OF THE CALCULATIONS.

SPECIAL INSPECTIONS

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

- CONCRETE GROUT DESIGN MIX (PERIODIC)
- PLACING OF CONCRETE AND REINFORCING STEEL (CONTINUOUS OF CONCRETE SAMPLING / PERIODIC OF REINFORCING)
- BOLTS & ANCHORS EMBEDDED IN CONCRETE (PERIODIC)
- STRUCTURAL STEEL FABRICATIONS (UNLESS AISC APPROVED)
- STRUCTURAL STEEL BOLTING & WELDING (PERIODIC)
- POST INSTALLED ANCHORS IN CONCRETE (CONTINUOUS)
- IN-SITU SOILS, EXCAVATIONS, FILLING & COMPACTION (PERIODIC)
- ANCHOR BOLTS, UNLESS OTHERWISE SHOWN, SHALL CONFORM TO ASTM F1554 GRADE 36.
- MASONRY AND REINFORCING STEEL (CONTINUOUS ON CELL GROUTING / PERIODIC ON REINFORCING)
- WOOD FRAMING:
 - SHEAR WALLS; WALL SIZE, CONFIGURATION, BLOCKING, PANEL GRADE, PANEL THICKNESS, AND FASTENING. (PERIODIC)
 - DIAPHRAGMS (FLOOR AND ROOF SHEATHING); SIZE, CONFIGURATION, BLOCKING, PANEL GRADE, PANEL THICKNESS, AND FASTENING. (PERIODIC)
 - FRAMING MEMBERS AND DETAILS (PERIODIC)
 - MATERIAL GRADE (PERIODIC)
 - CONNECTIONS; HANGERS, HOLD DOWNS, BUILT-UP COLUMNS, BUILT-UP BEAMS (PERIODIC)
 - PRE-ENGINEERED TRUSSES; FRAMING, CONNECTIONS, BRIDGING (PERIODIC)

THE CONTRACTOR SHALL REQUEST SPECIAL INSPECTION OF THE ITEMS LISTED ABOVE PRIOR TO THOSE ITEMS BECOMING INACCESSIBLE AND UNOBSERVABLE DUE TO PROGRESSION OF THE WORK.

STORM SHELTER DESIGN DATA	
2018 INTERNATIONAL BUILDING CODE / ASCE 7-16 / ICC500	
BUILDING OCCUPANCY CATEGORY	IV
ROOF LOAD DATA	
LIVE LOAD	200
6" CONCRETE SLAB & DECKING	75
MECHANICAL ALLOWANCE	4
RIGID INSULATION	2
5/8" GYP. CEILING	2
STEEL BEAMS	7
TOTAL TO JOISTS	290 lbs/sqft
RAIN LOADING DATA	
15 MIN RAIN INTENSITY	1120 in/yr
60 MN RAIN INTENSITY	571 in/yr
ROOF SNOW LOAD DATA *UNBALANCED & DRIFTING SNOW TO BE DETERMINED IN ADDITION TO UNIFORM LOAD, WHERE APPLICABLE	
P_s =	20 lbs/sqft
C_e =	10
L_r =	12
C_d =	10
P_r =	16.8 lbs/sqft
BASIC DESIGN WIND LOAD DATA	
V_w =	250 MPH (3-SECOND GUST)
I_w =	100
EXPOSURE	C
INTERNAL PRESSURE COEFFICIENT =	+ 0.55
K_d =	100
K_z =	100
EARTHQUAKE DESIGN DATA	
S_{ps} =	0.387
S_p =	0.095
S_{m1} =	0.384
S_{m2} =	0.152
SITE CLASS D (ASSUMED)	
SEISMIC DESIGN CATEGORY C	
BASIC SEISMIC-FORCE-RESISTING SYSTEM =	
BEARING WALL SYSTEMS - SPECIAL REINFORCED MASONRY SHEAR WALLS	
R =	5.0
Ω_p =	2.5
C_u =	3.5
I_p =	150
EQUVALENT LATERAL FORCE PROCEDURE	
$V = 0.077W$	
NET ALLOWABLE SOIL BEARING	1500 lbs/sqft**
(**ASSUMED PER IBC TABLE 1806.2 PRESUMPTIVE LOAD-BEARING VALUES)	

INDEX OF SHEETS	
COVER / GENERAL STRUCTURAL DATA	S100
FOUNDATION PLAN	S200
FOUNDATION DETAILS	S210
FRAMING PLAN	S300
FRAMING DETAILS	S310-S311

REVISIONS:

No.	Date
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RIVERBEND VILLAS- STORM SHELTER

CHICKASHA, GRADY COUNTY, OKLAHOMA

DRAWING INCLUDES:

GENERAL STRUCTURAL DATA

DESIGNED: JWV

DRAWN: ZMP

PROJECT NO.: 230618

SHEET: S100

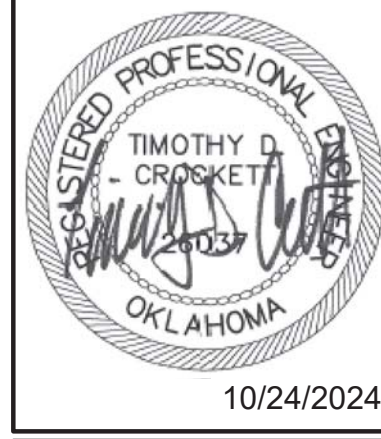
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ALL DIMENSIONS ARE FROM FACE OF FOUNDATION WALL OR FRAMING;
EDGE OF SLAB OR TRUSS/RAFTER; OR CENTERLINE
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FOUNDATION NOTES

- ① REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SUBGRADE REQUIREMENTS.

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1	10/25/2024

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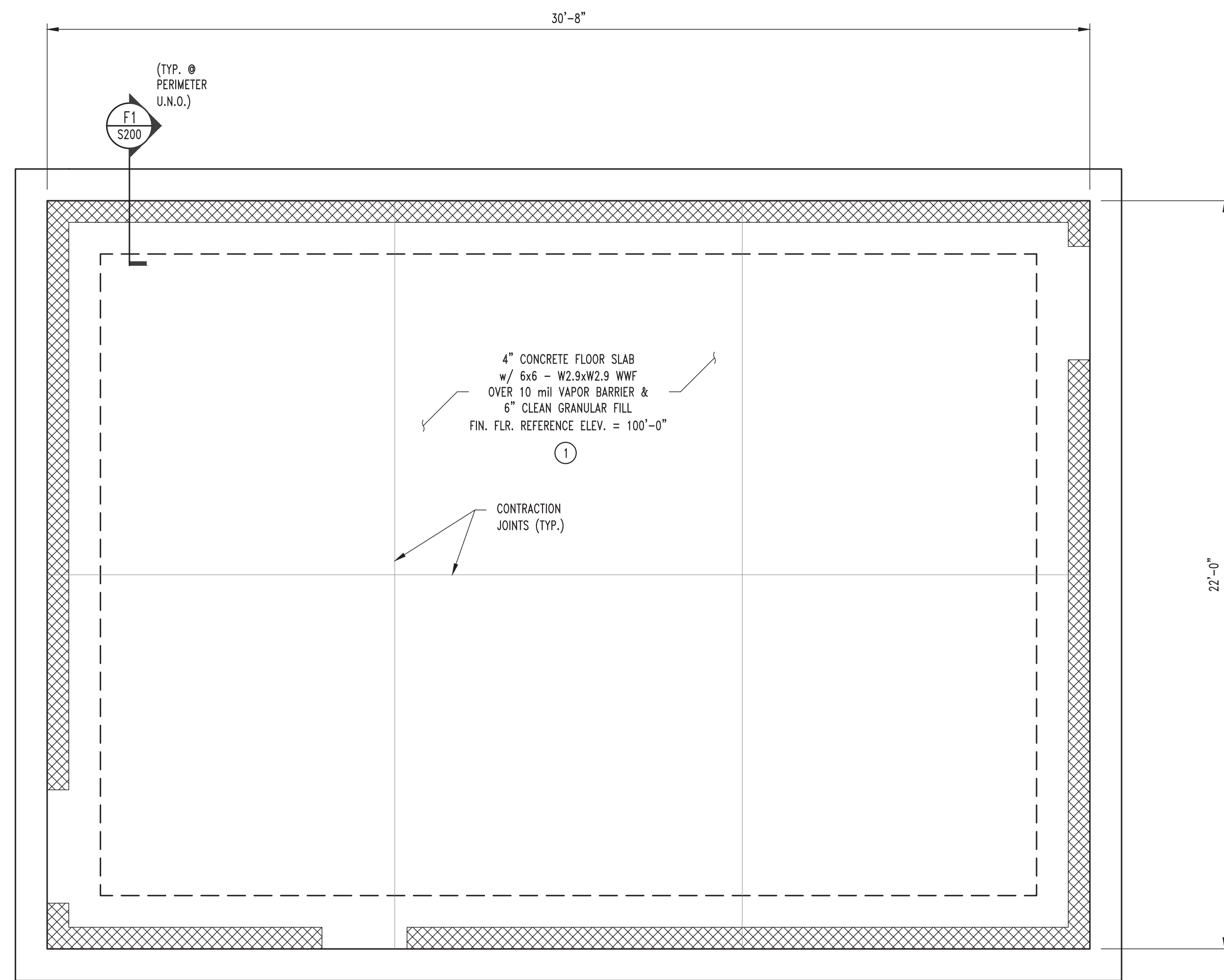
RIVERBEND VILLAS- STORM SHELTER

CHICKASHA, GRADY COUNTY, OKLAHOMA

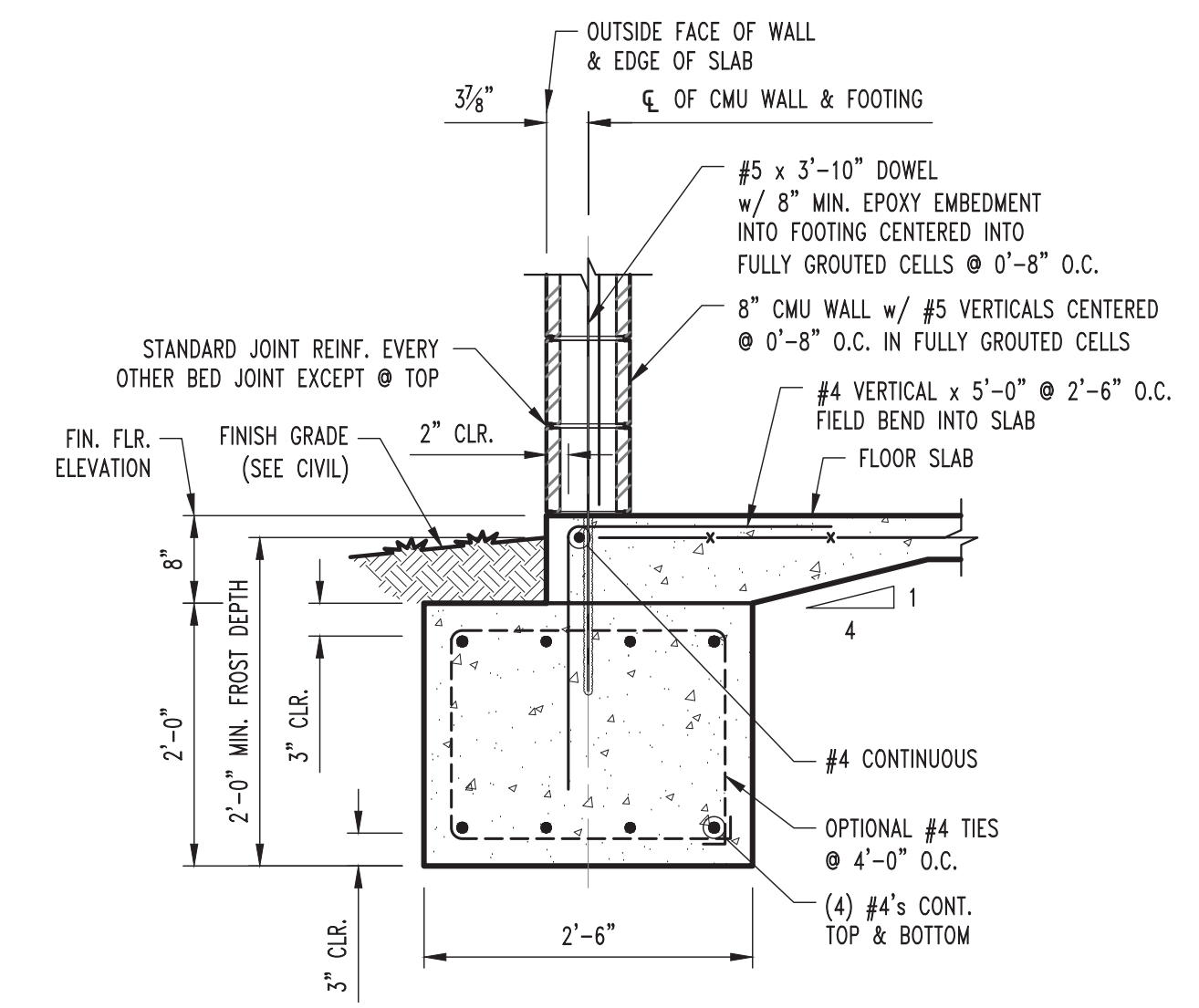
DRAWING INCLUDES:

FOUNDATION PLAN

DESIGNED: JWV
DRAWN: ZMP
PROJECT NO.: 230618
SHEET: S200



① FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



F1 CONT. FOOTING SECTION @ STORM SHELTER
SCALE: 3/4" = 1'-0"

NOTE:
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EDGE OF SLAB OR TRUSS/RAFTER; OR CENTERLINE
OF COLUMN, BEAM, OR JOIST UNLESS NOTED OTHERWISE.

ROOF FRAMING NOTES

- 1 MASONRY OPENING. REFER TO TYPICAL DETAIL ON S311.

REVISIONS:

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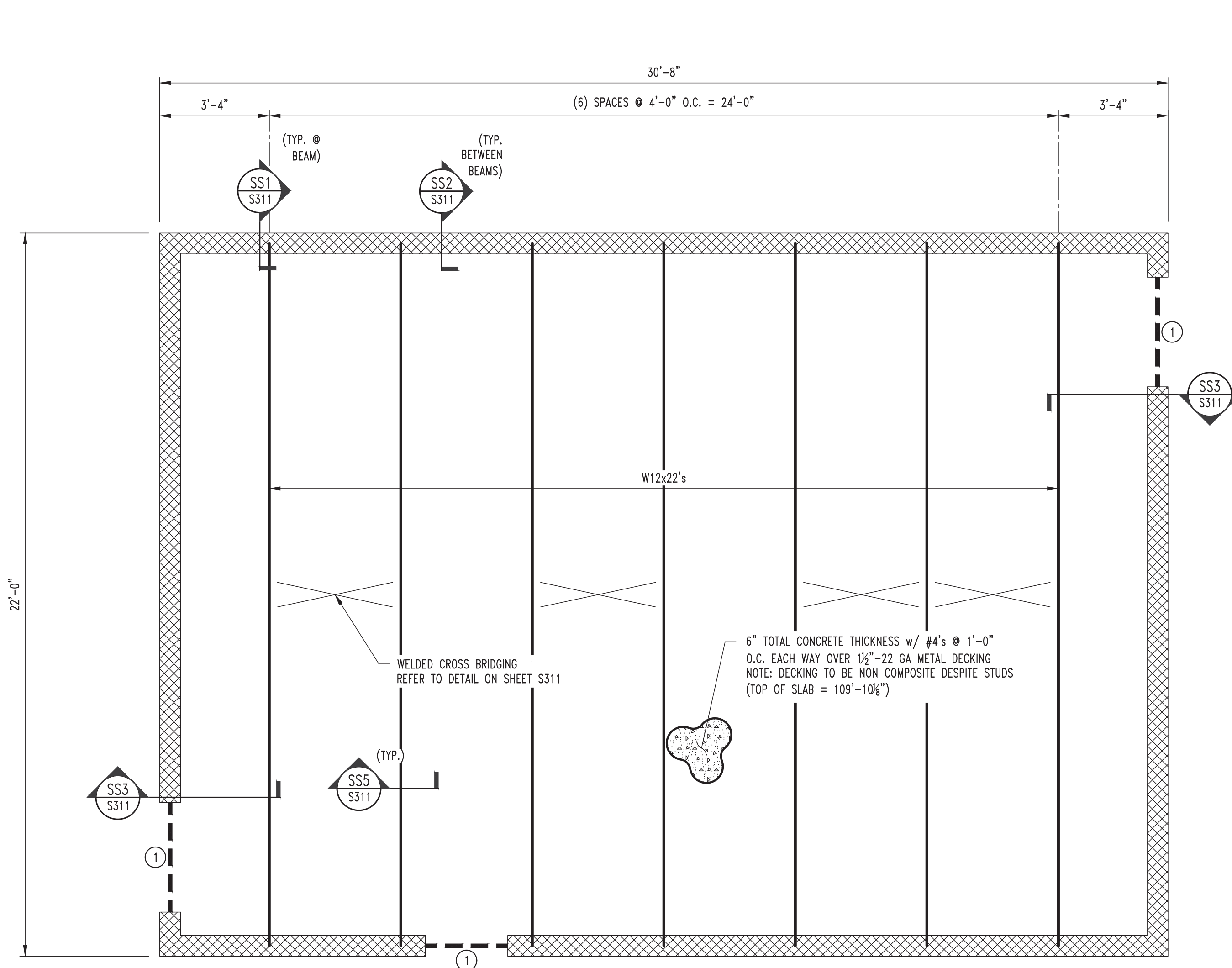
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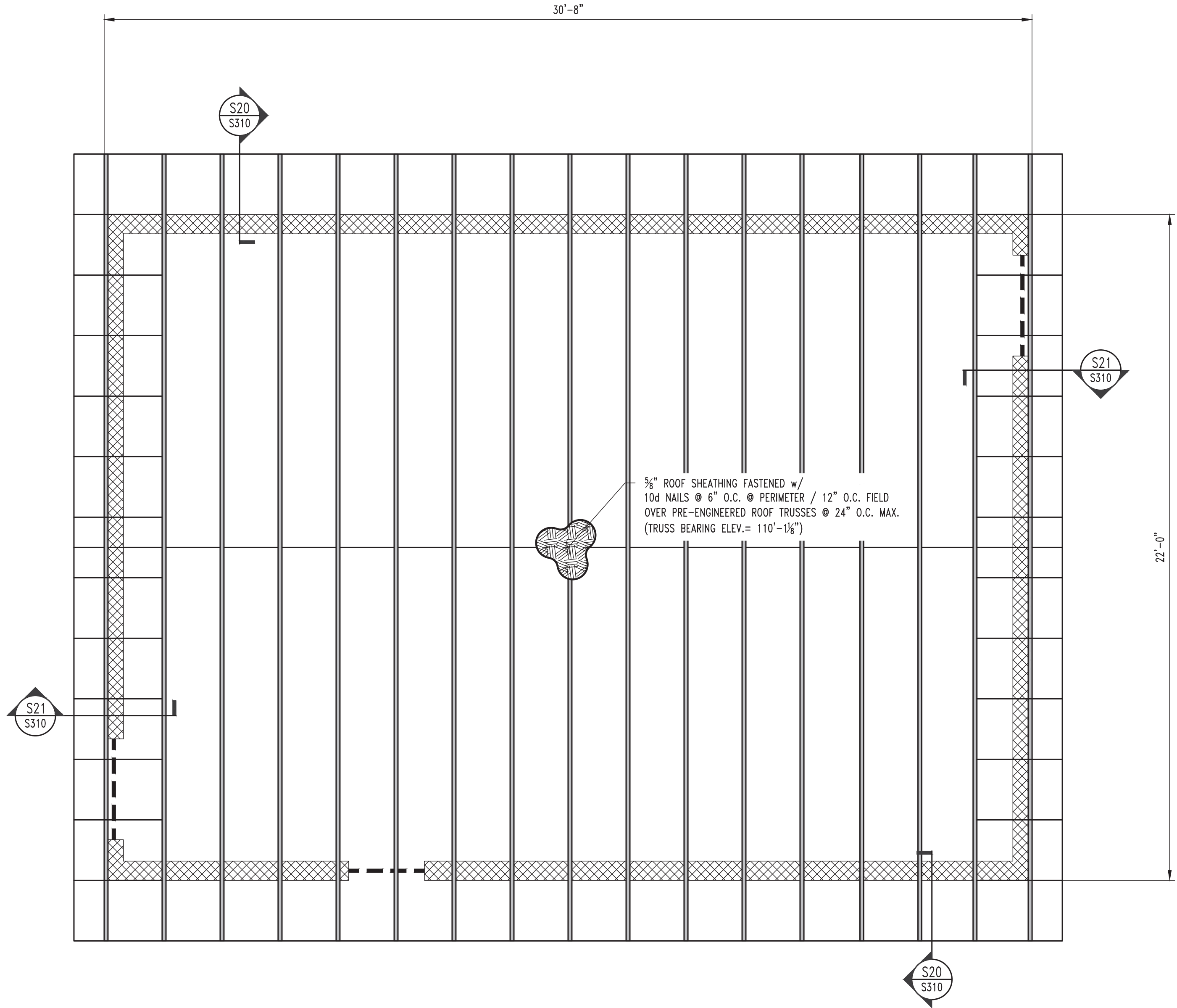
RIVERBEND VILLAS- STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

DRAWING INCLUDES:
CEILING / ROOF FRAMING PLAN

DESIGNED: JWV
DRAWN: ZMP
PROJECT NO.: 230618
SHEET: S300



1 S300 CEILING FRAMING PLAN SCALE: 3/8" = 1'-0" PLAN NORTH



2 S300 ROOF FRAMING PLAN SCALE: 3/8" = 1'-0" PLAN NORTH

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RIVERBEND VILLAS-STORM SHELTER
 CHICKASHA, GRADY COUNTY, OKLAHOMA

DRAWING INCLUDES:

ROOF FRAMING DETAILS

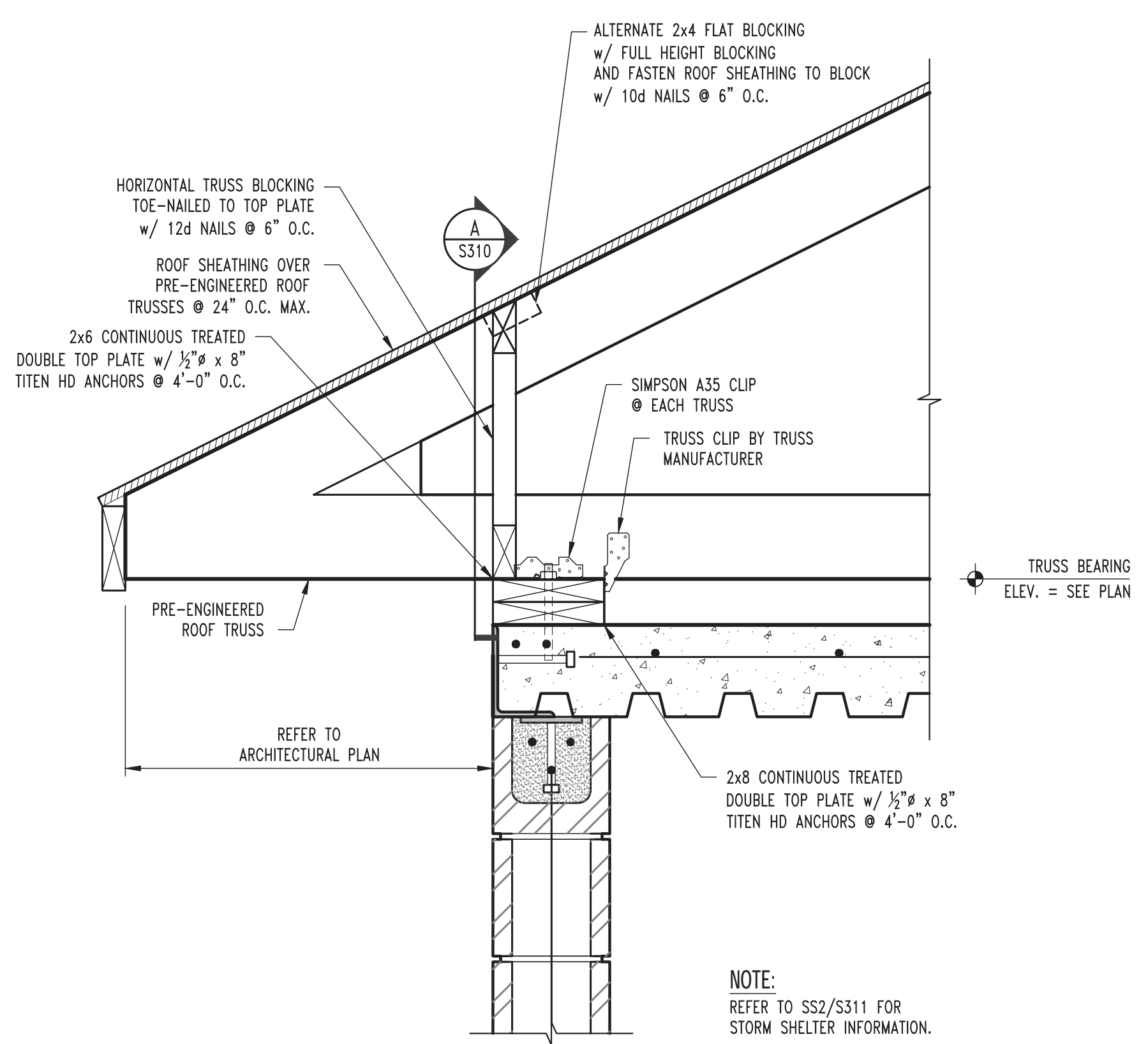
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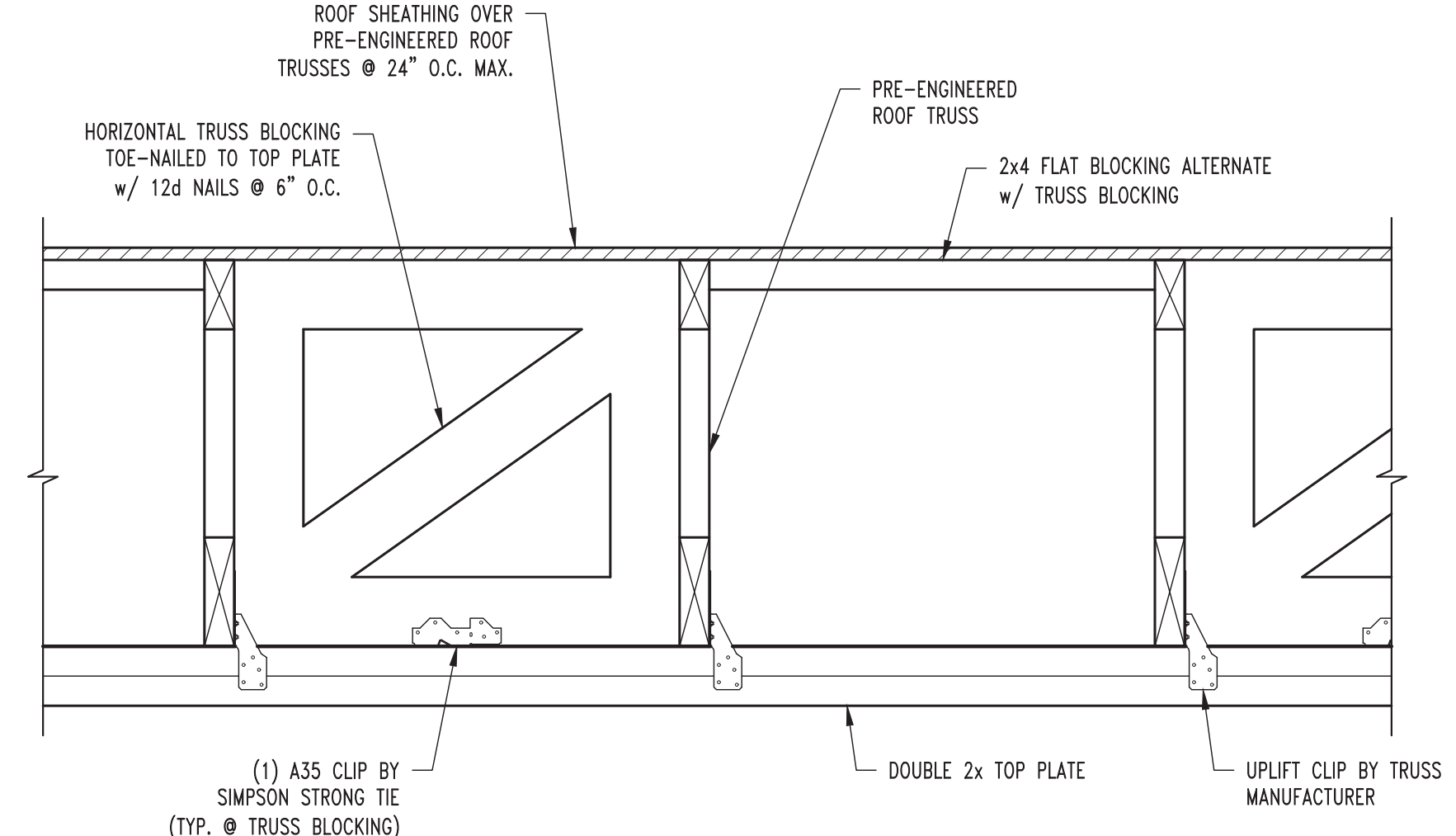
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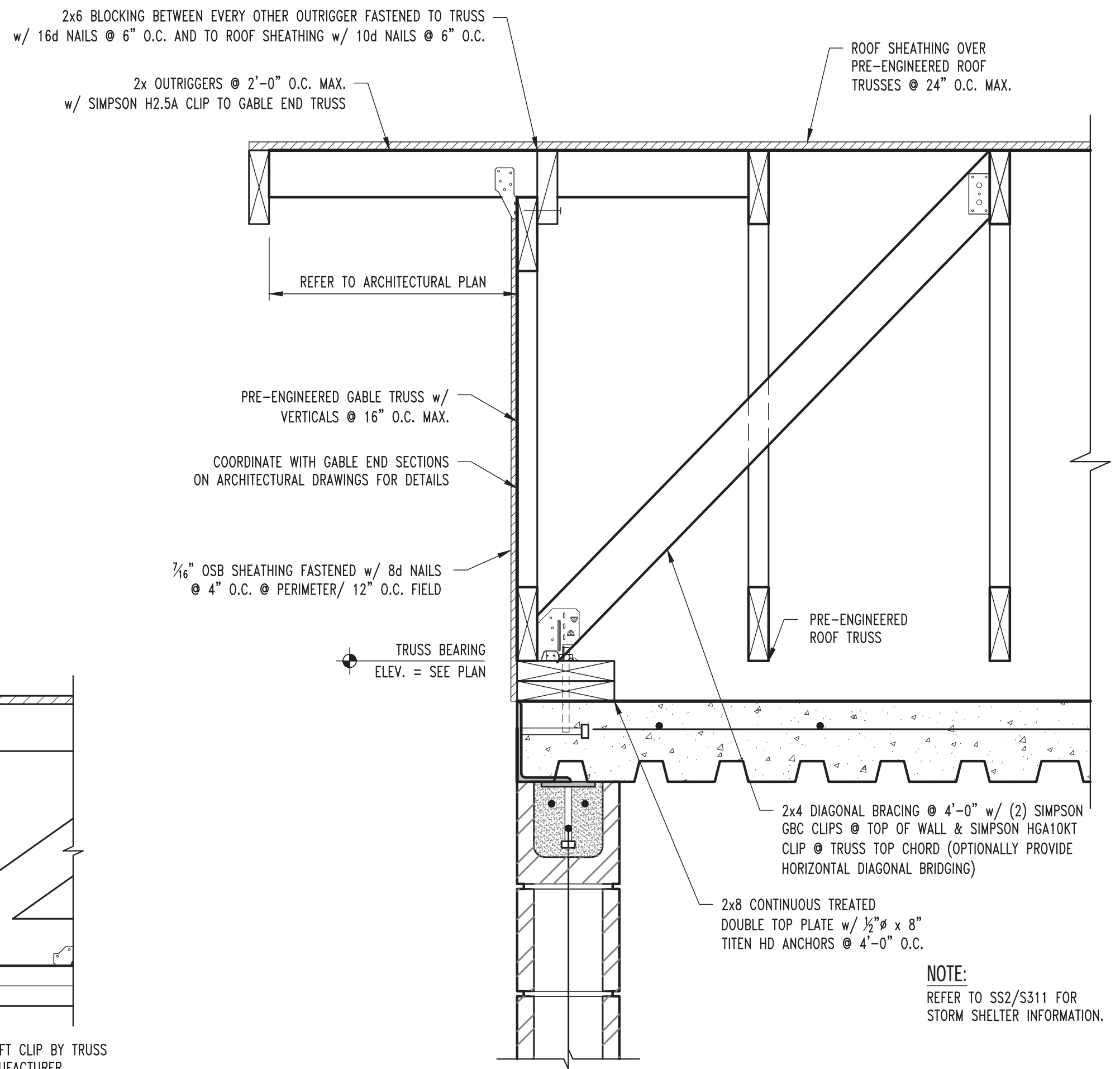
S310



S20
S300
ROOF FRAMING SECTION
 SCALE: 1/2" = 1'-0"



A
S310
TYP. TRUSS BLOCKING SECTION
 SCALE: 1/2" = 1'-0"



S21
S300
ROOF FRAMING SECTION
 SCALE: 1/2" = 1'-0"

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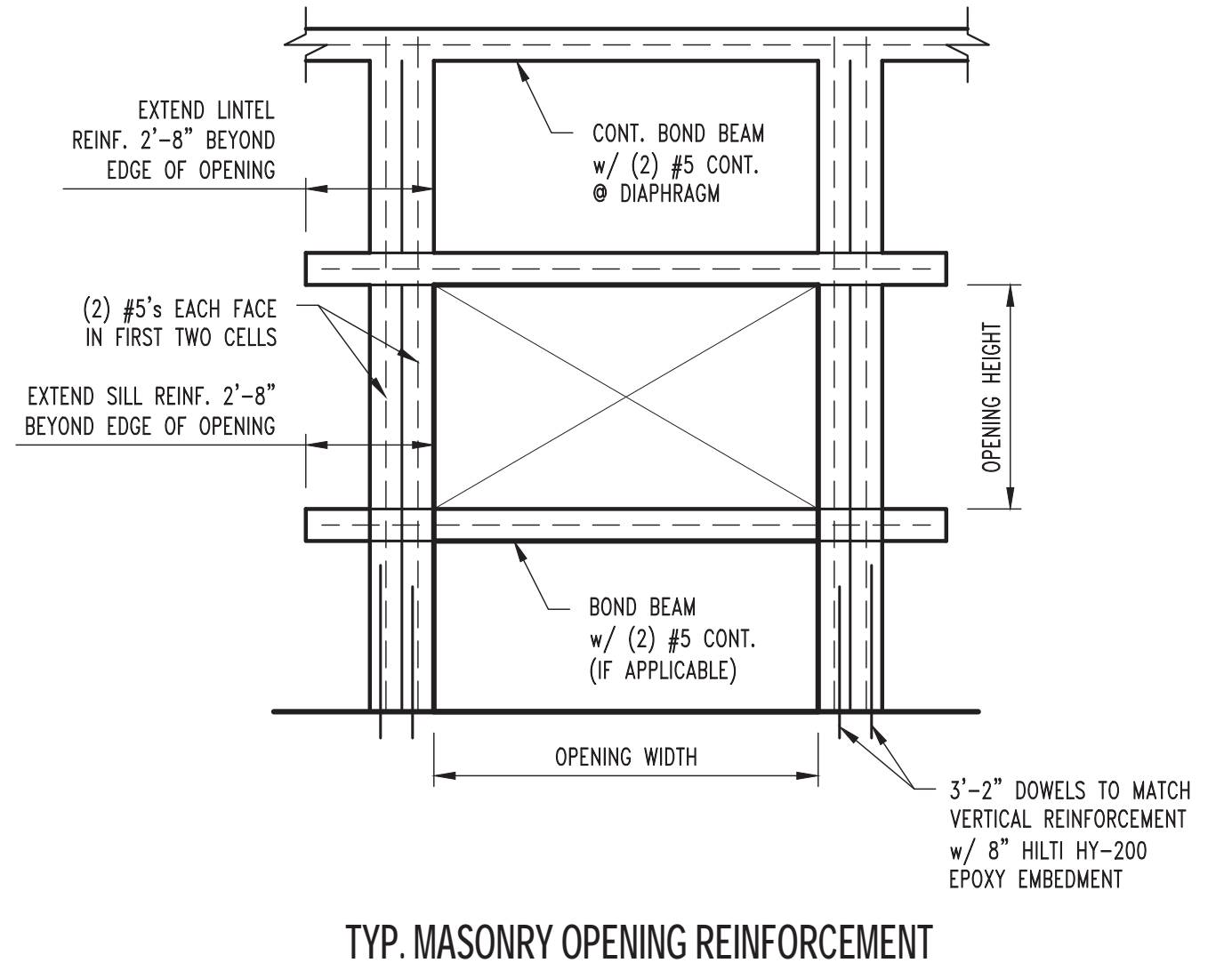
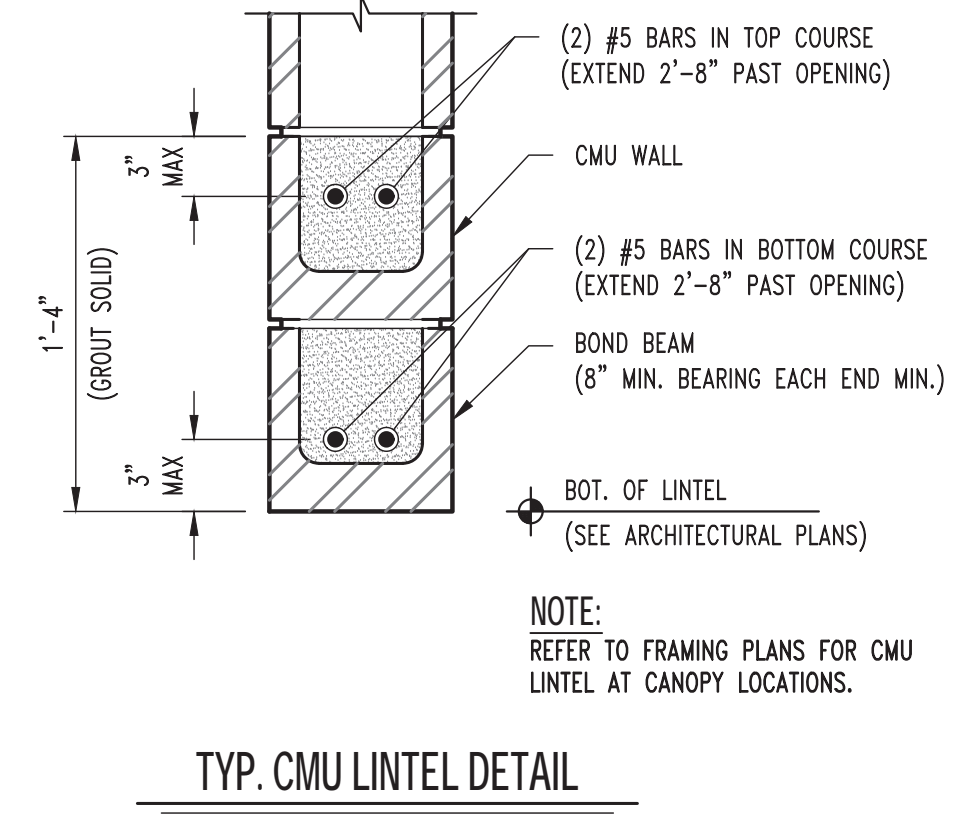
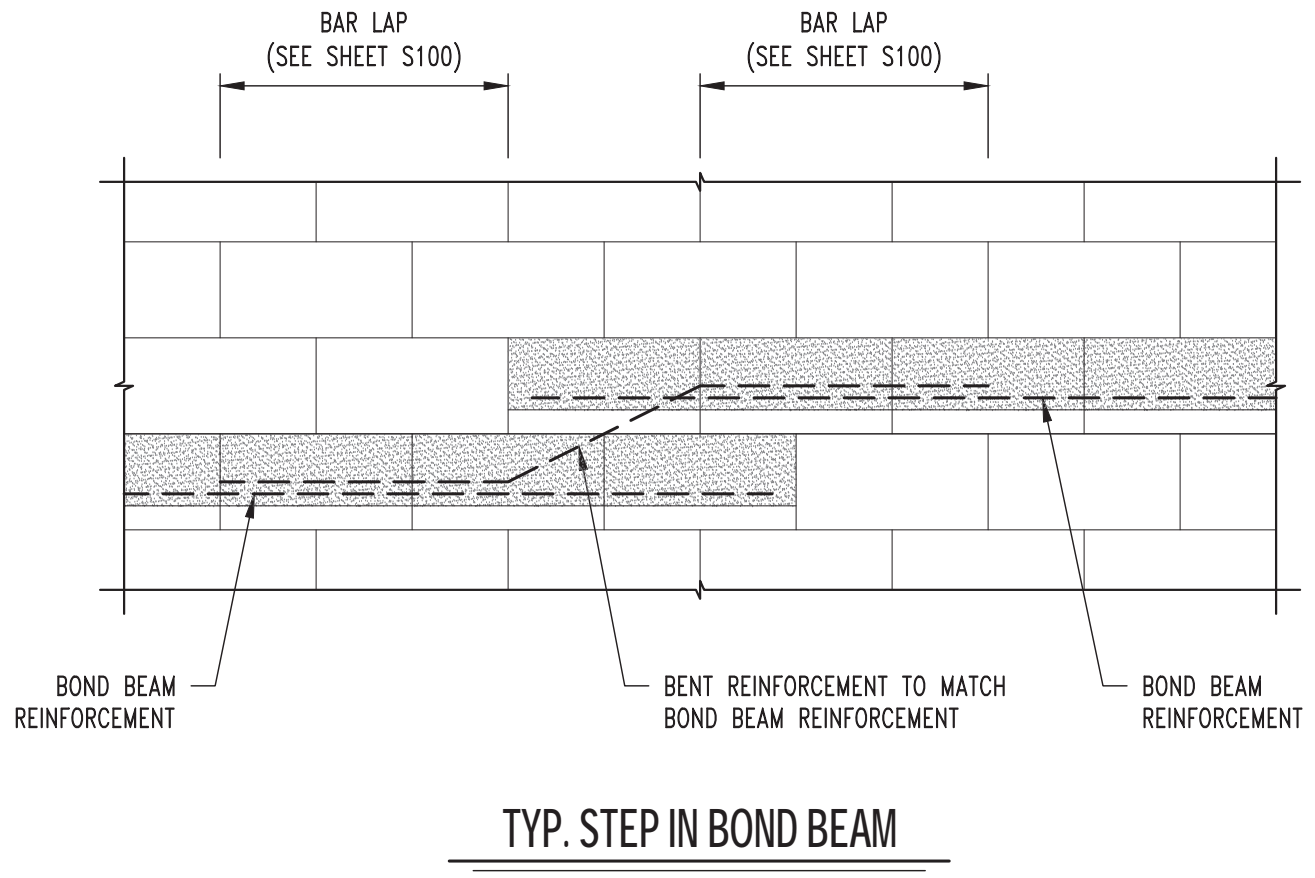
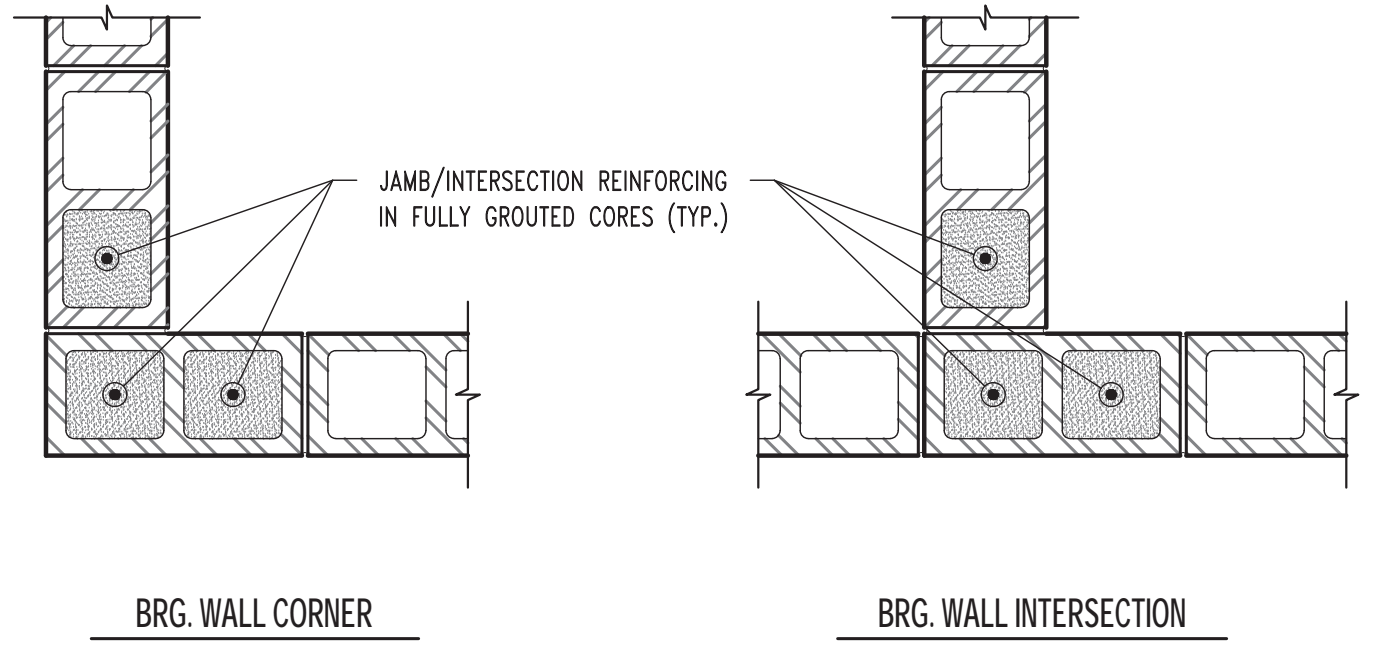
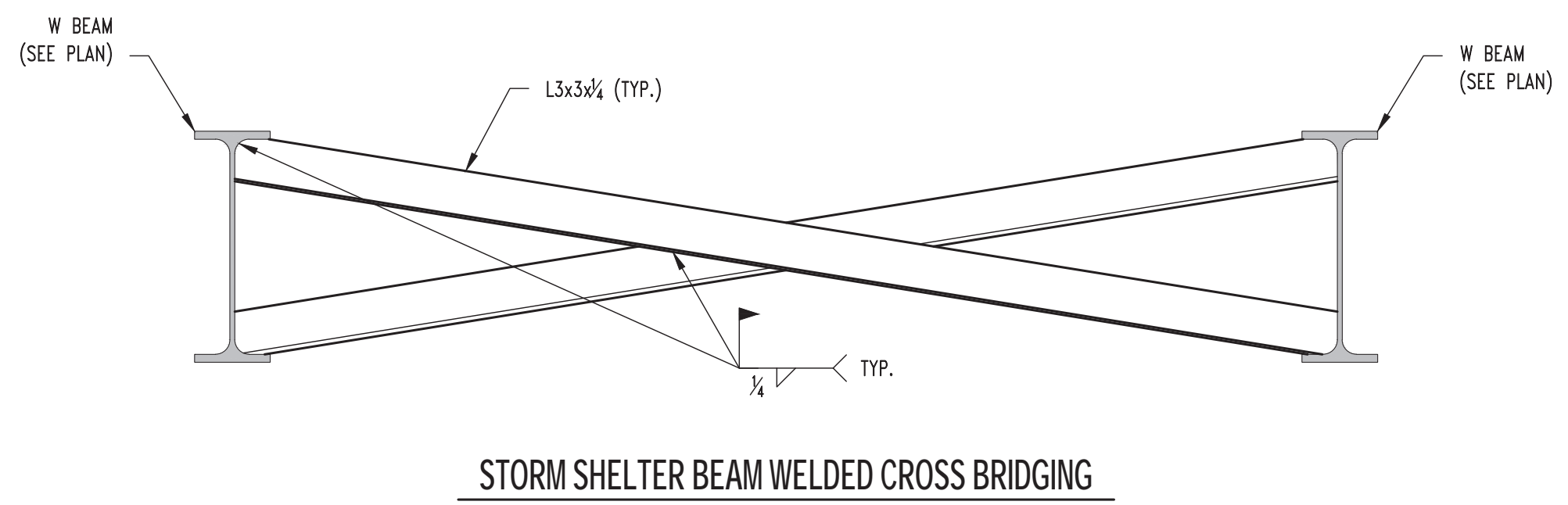
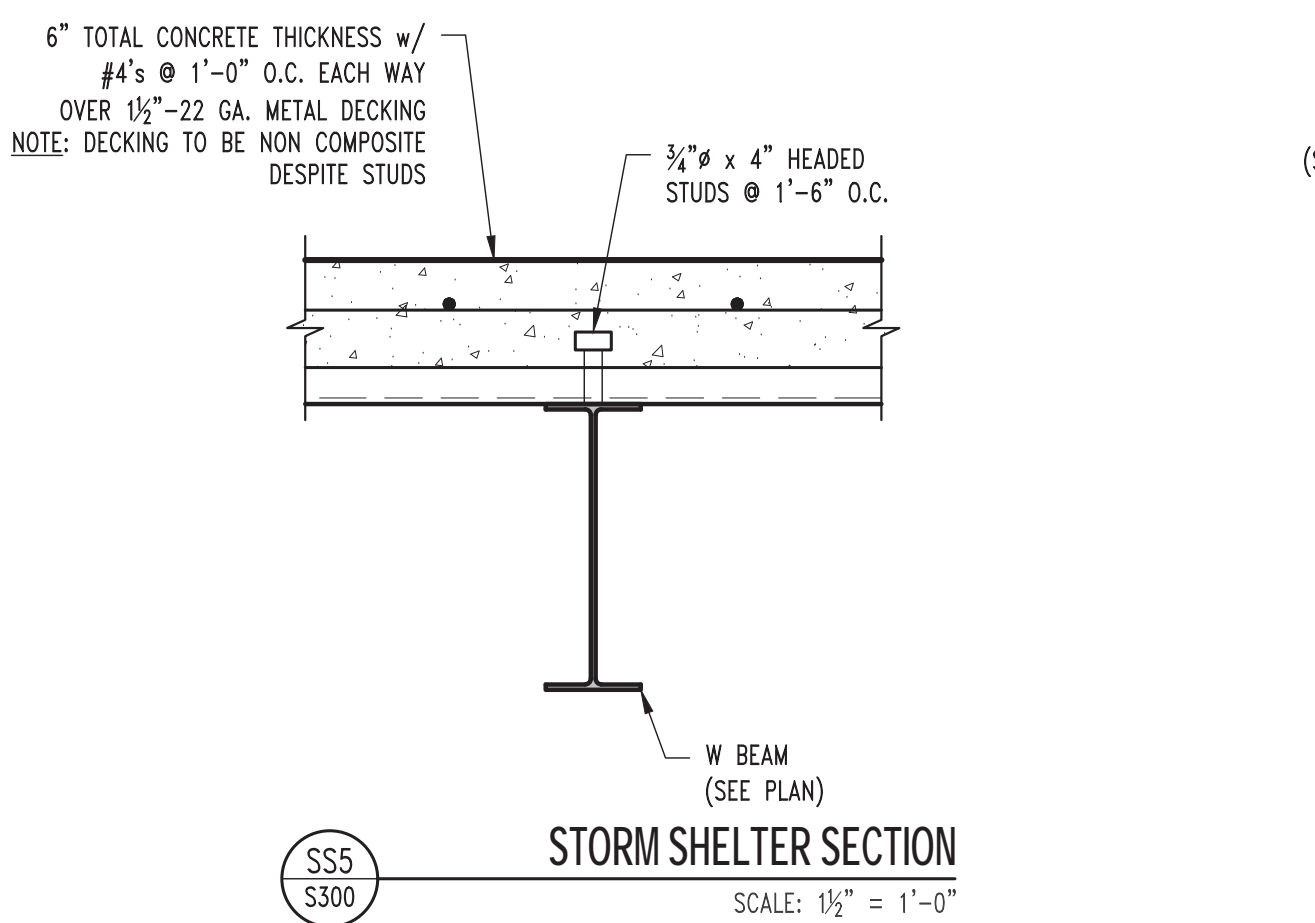
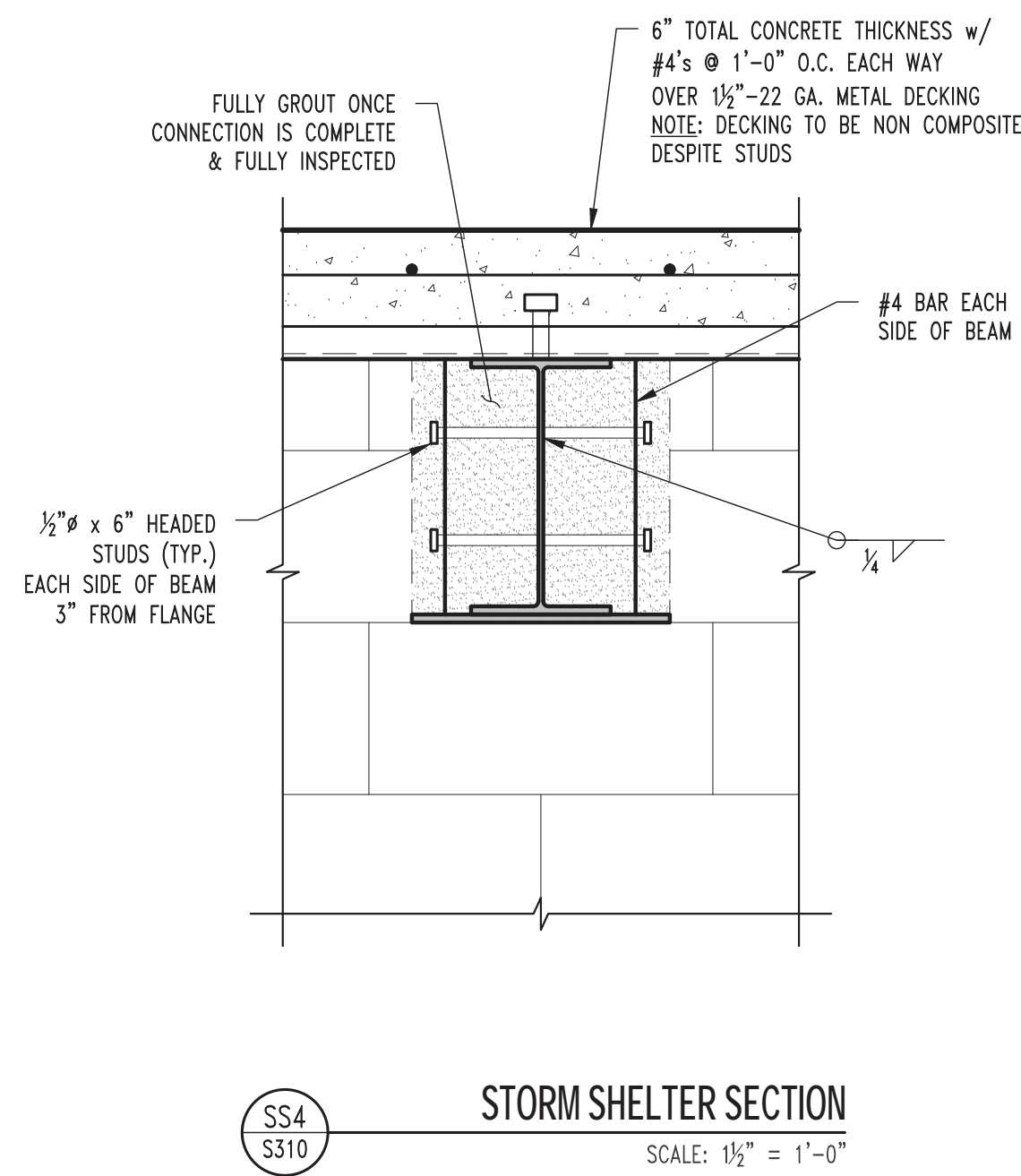
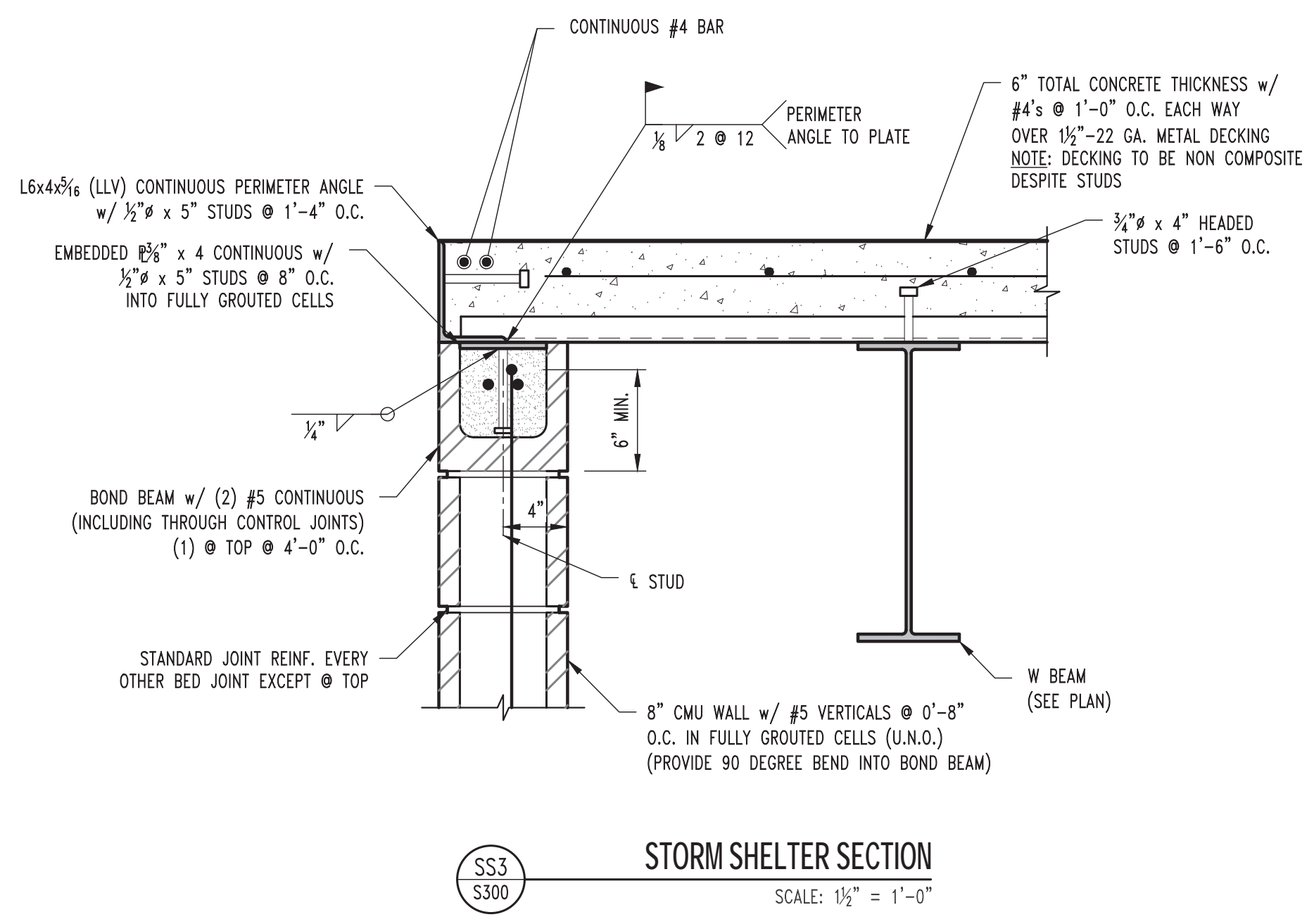
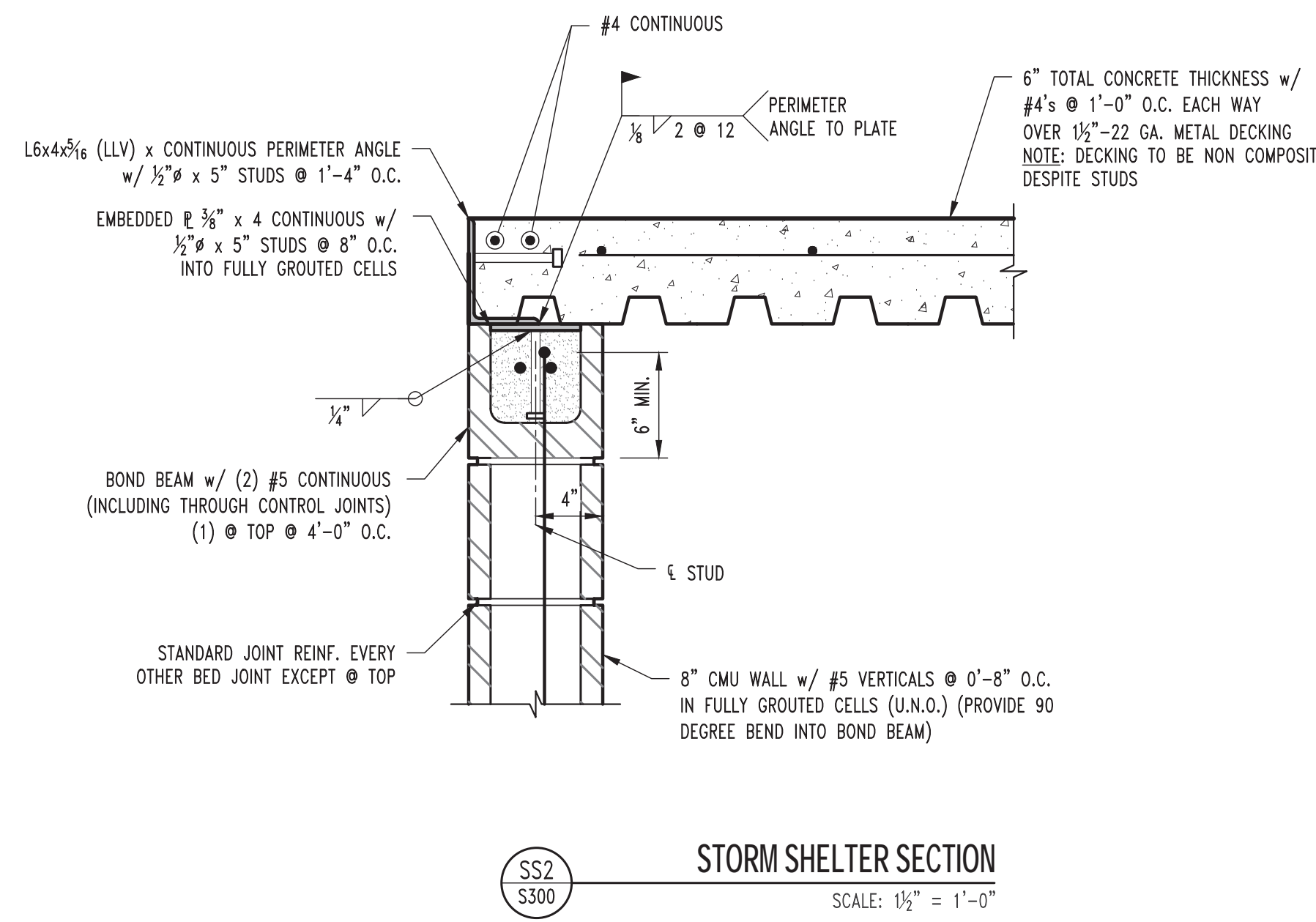
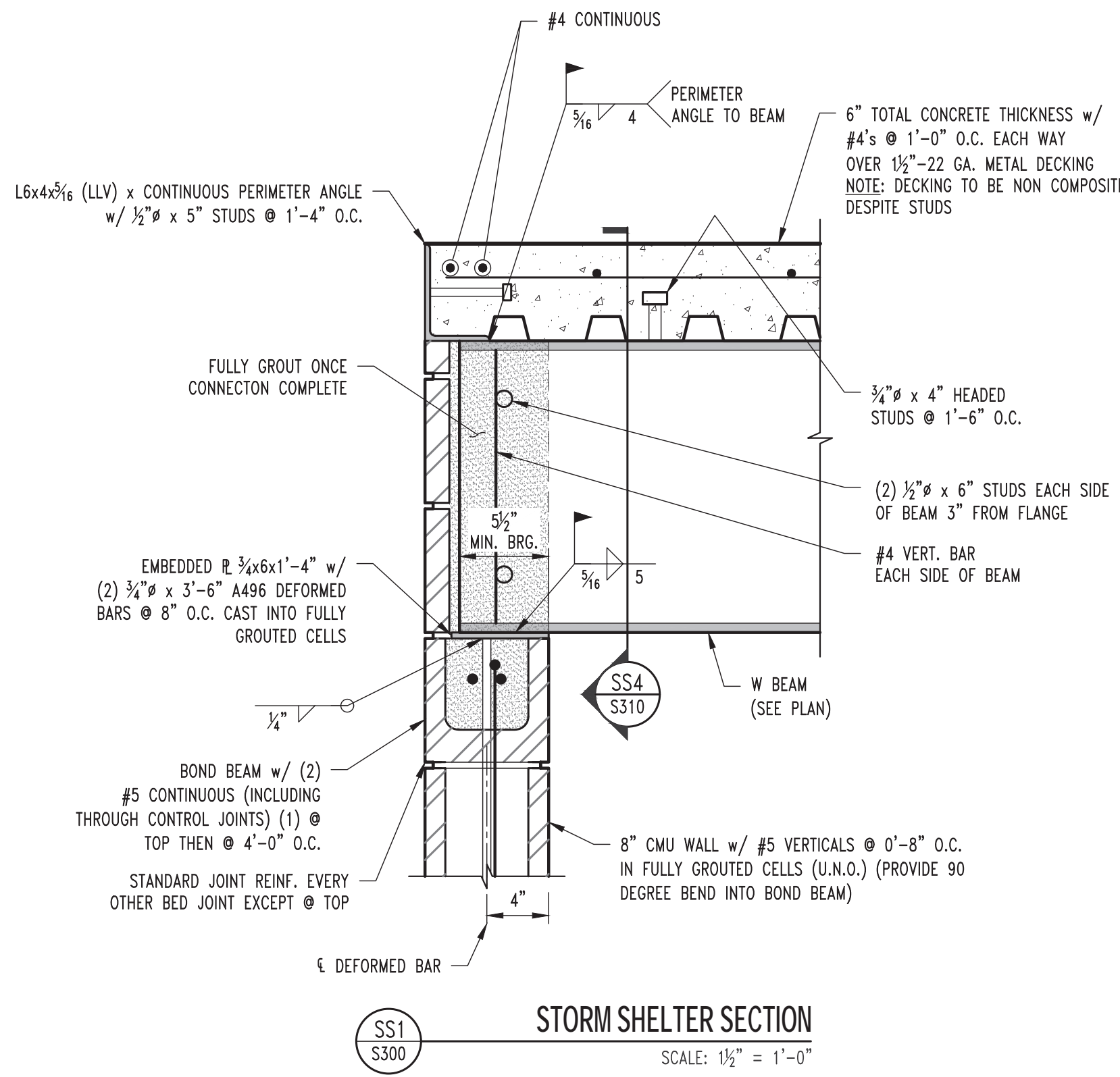
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RIVERBEND VILLAS-STORM SHELTER
 CHICKASHA, GRADY COUNTY, OKLAHOMA

DRAWING INCLUDES:
 STORM SHELTER DETAILS

DESIGNED: JWV
 DRAWN: ZMP
 PROJECT NO.: 230618
 SHEET: S311

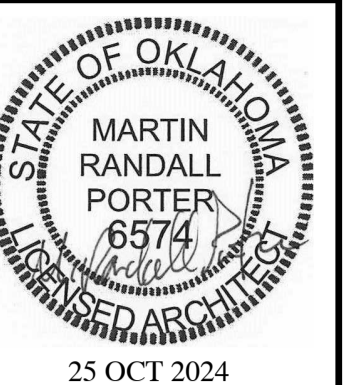


TYP. CMU WALL VERTICAL REINFORCING

TYP. STEP IN BOND BEAM

TYP. CMU LINTEL DETAIL

TYP. MASONRY OPENING REINFORCEMENT



MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
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P 573-256-7200

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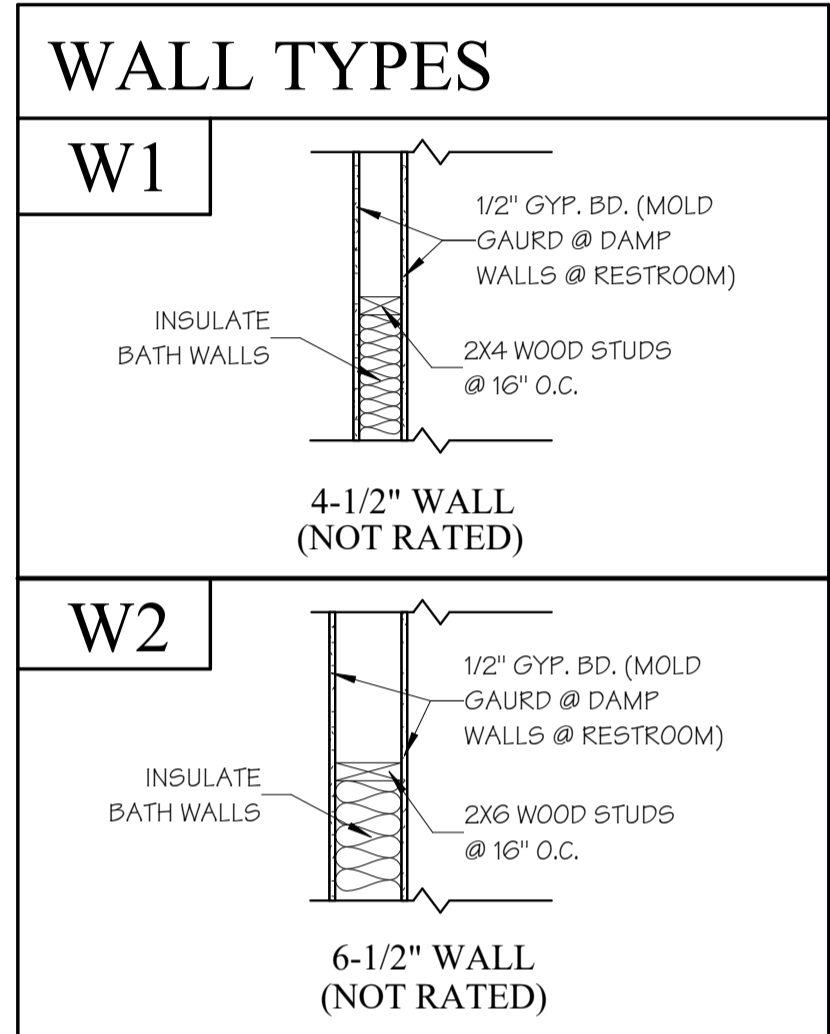
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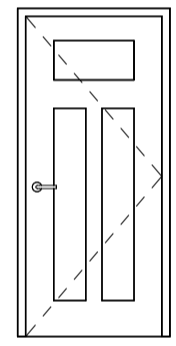
GENERAL NOTES	
1)	CONTRACTOR SHALL FURNISH & INSTALL 4" BUILDING NUMBERS FOR STORM SHELTER AS REQUIRED BY CITY OR LOCAL POSTMASTER.
2)	CERTIFICATION OF R-38 CEILING INSULATION MUST BE POSTED IN ATTIC.
3)	STAIN & SEAL MILLWORK AS SPECIFIED.
4)	APPLY SILICONE CAULK BETWEEN CONCRETE AND BOTTOM OF THE DRYWALL.
5)	SEAL CONCRETE FLOOR TO REDUCE MOISTURE PENETRATION.

DOOR NOTES	
1)	ALL DOORS TO HAVE LEVER HANDLES OR PANIC HARDWARE.
2)	ENTRY DOORS SHALL COMPLY WITH ANSI A117.1 ACCESSIBILITY REQUIREMENTS.
3)	PROVIDE THRESHOLD AT ALL ENTRY DOORS WHICH ARE 1/2" HIGH MAX, 1:2 SLOPE.
4)	SEE SPECS FOR DOOR HARDWARE.
5)	CAULK/SEAL ALL EXTERIOR THRESHOLDS.
6)	SELF-CLOSING DOORS MUST BE ON LOWEST SETTING WHILE COMPLYING WITH THE ENFORCED BUILDING CODE.

WALL NOTES	
1)	DIMENSIONS ARE STUD FACE TO STUD FACE UNLESS NOTED OTHERWISE.
2)	PROVIDE SOLID BLOCKING BEHIND GRAB BARS AND ALL SOFFITS.
3)	ALL INTERIOR WALLS FRAMED WITH 2X4'S OR 2X6'S (ALL PLUMBING WALLS) 16" O.C. AND COVERED WITH (1) LAYER 1/2" GYP. BD.



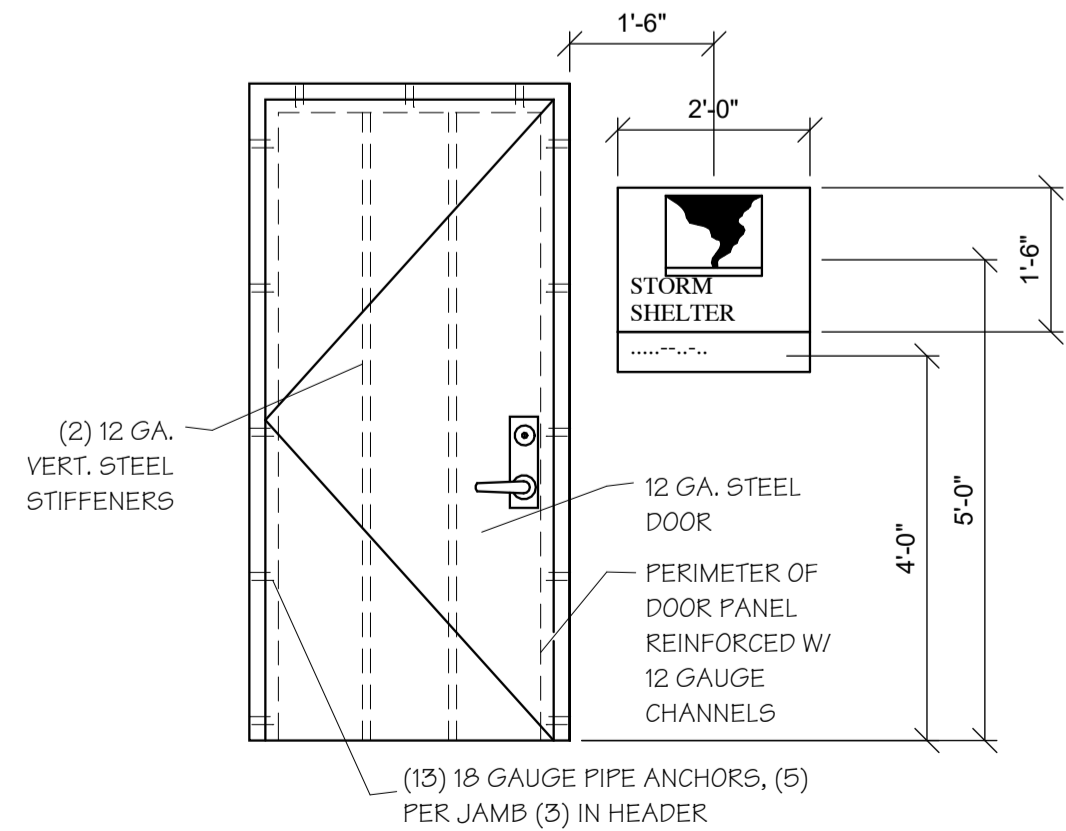
DOOR SCHEDULE						
MARK	SIZE	ELEV.	PANEL MATL.	FRAME MTL.	HARDWARE SET (SEE SPECS)	COMMENTS
1	3'-0" x 6'-8" x 1 3/4"	1/1.05	12 GA. STEEL	STEEL	(SEE SPECS)	STORM SHELTER DOOR - SEE STORM SHELTER DOOR & HARDWARE SCHEDULE NOTES ON DETAIL 1/A1.0S, ACCESSIBLE THRESHOLD, CLOSER & PANIC BAR
2	3'-0" x 6'-8" x 1 3/8"	A	WD HC	WD	(SEE SPECS)	3 PANEL MASONITE



A

STORM SHELTER DOOR & HARDWARE SCHEDULE

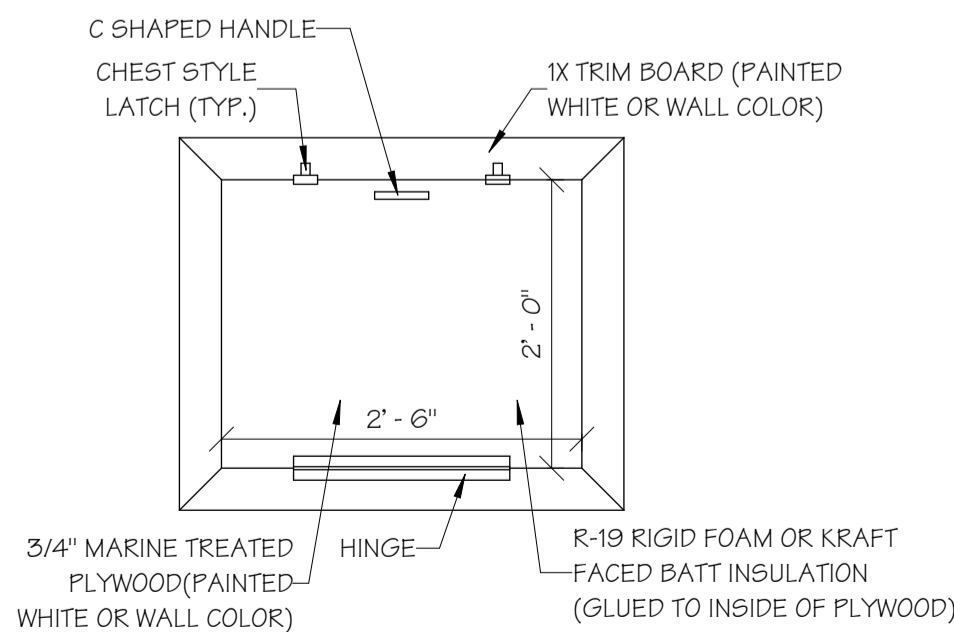
- COMMERCIAL GRADE ICC-500 & FEMA 361 COMPLIANT 12 GAUGE STEEL DOOR & FRAME WITH LEVER ACTION HANDLE AND PANIC EXIT DEVICE.
- THREE (3) POINT LOCK MECHANISM PROVIDING SURFACE MOUNTED VERTICAL RODS AND A CENTER LATCH.
- FOUR (4) HEAVY WEIGHT BALL BEARING HINGES.
- STORM SHELTER DOOR MANUFACTURER - SECURALL STORMSAFE 361 DOOR 1 3/4" THICK X 12 GA. GALVANIZED STEEL DOOR AND FRAME WITH 12 GA. REINFORCED CHANNELS.



STORM SHELTER DOOR DETAIL

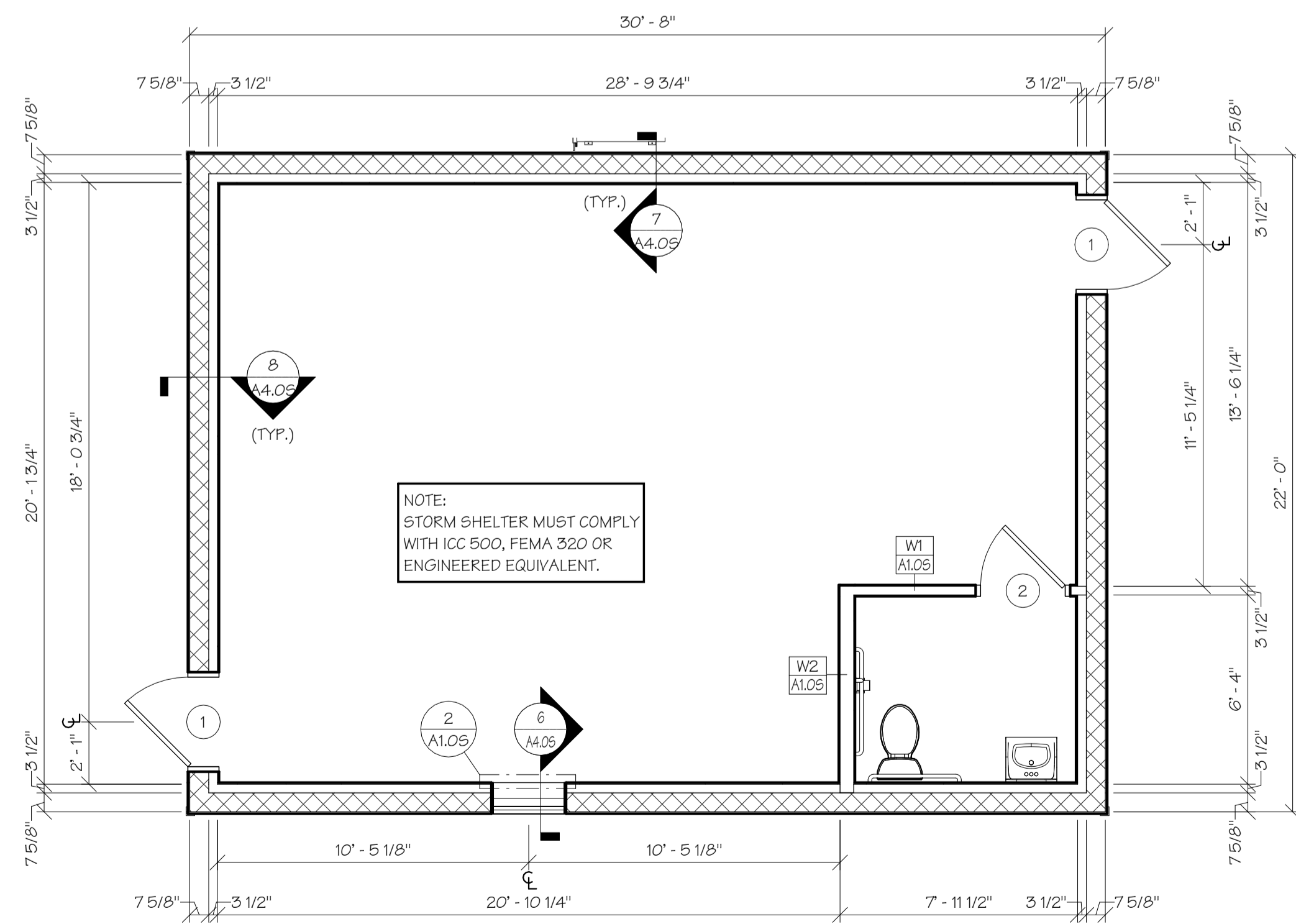
1
A1.0S SCALE: 1/2" = 1'-0"

NOTE: SIGN TO BE POSTED THAT READS "OPEN VENT COVERS IN THE EVENT OF FULL OCCUPANCY FOR PROPER VENTILATION"



VENT COVER DETAIL

2
A1.0S SCALE: 3/4" = 1'-0"

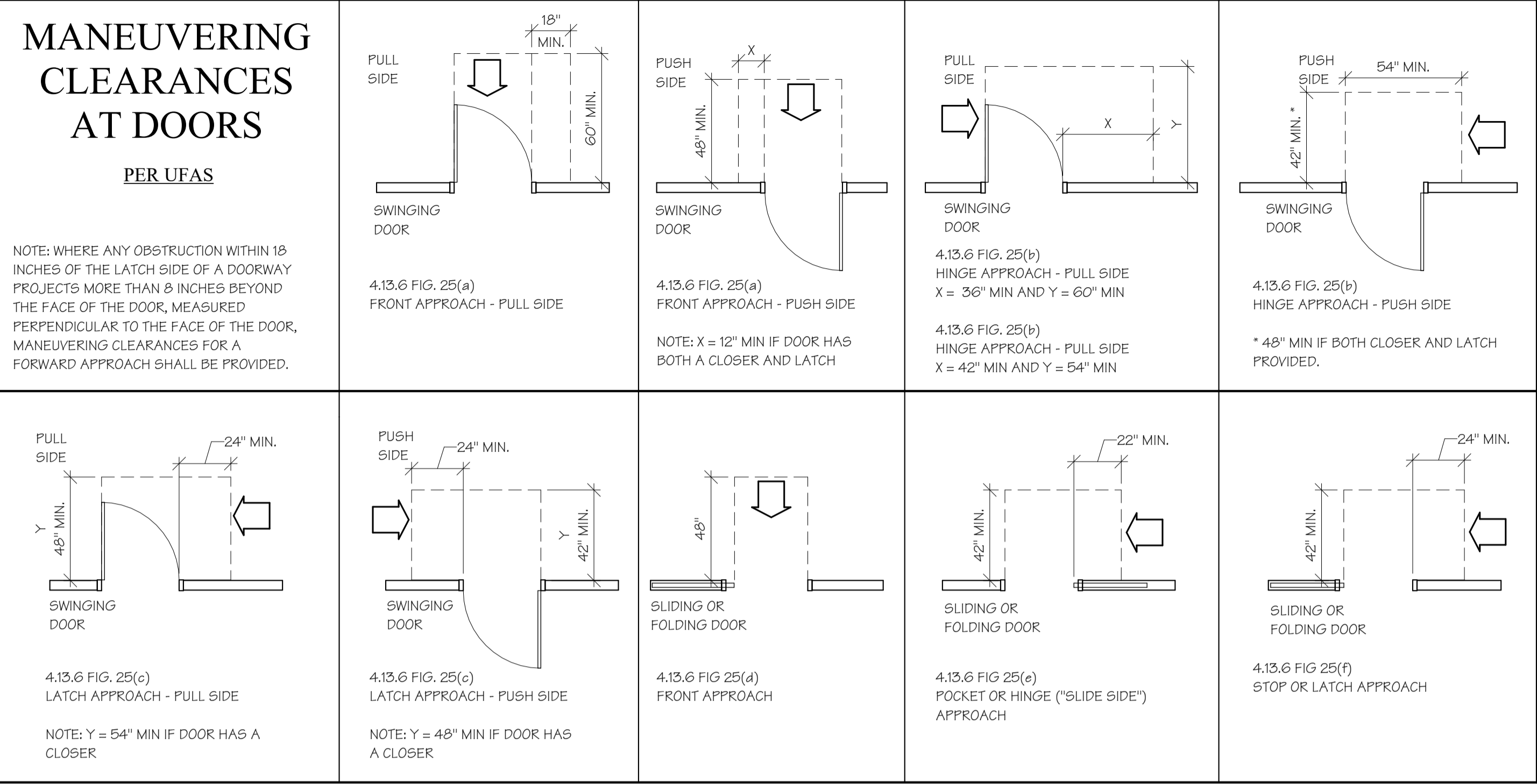


STORM SHELTER DIMENSION PLAN

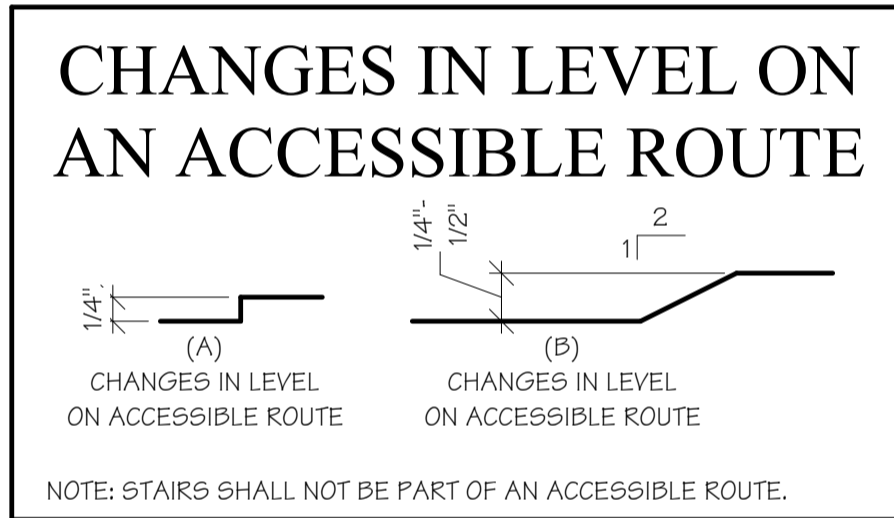
3
A1.0S SCALE: 1/4" = 1'-0"



ISSUE SET



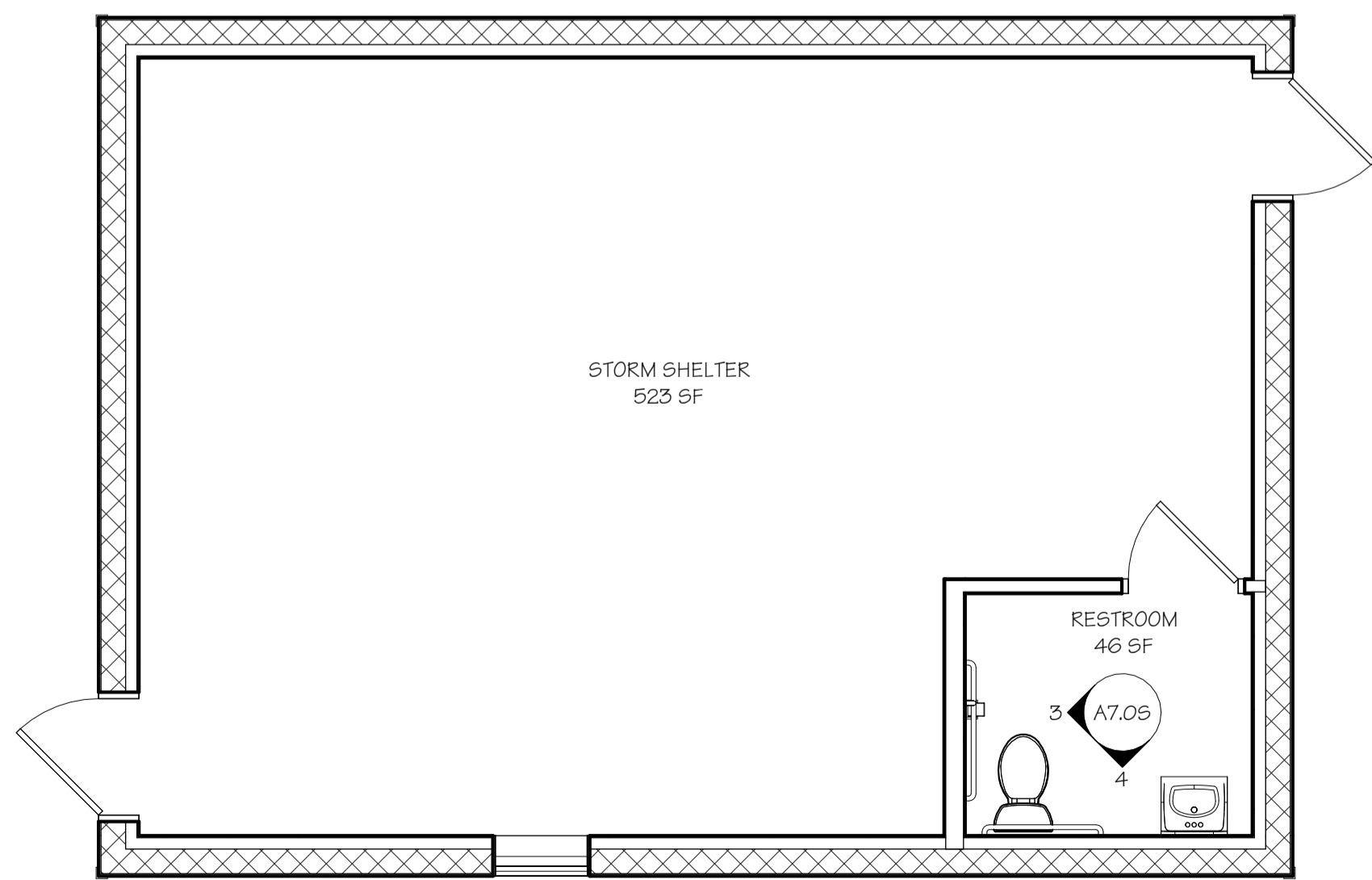
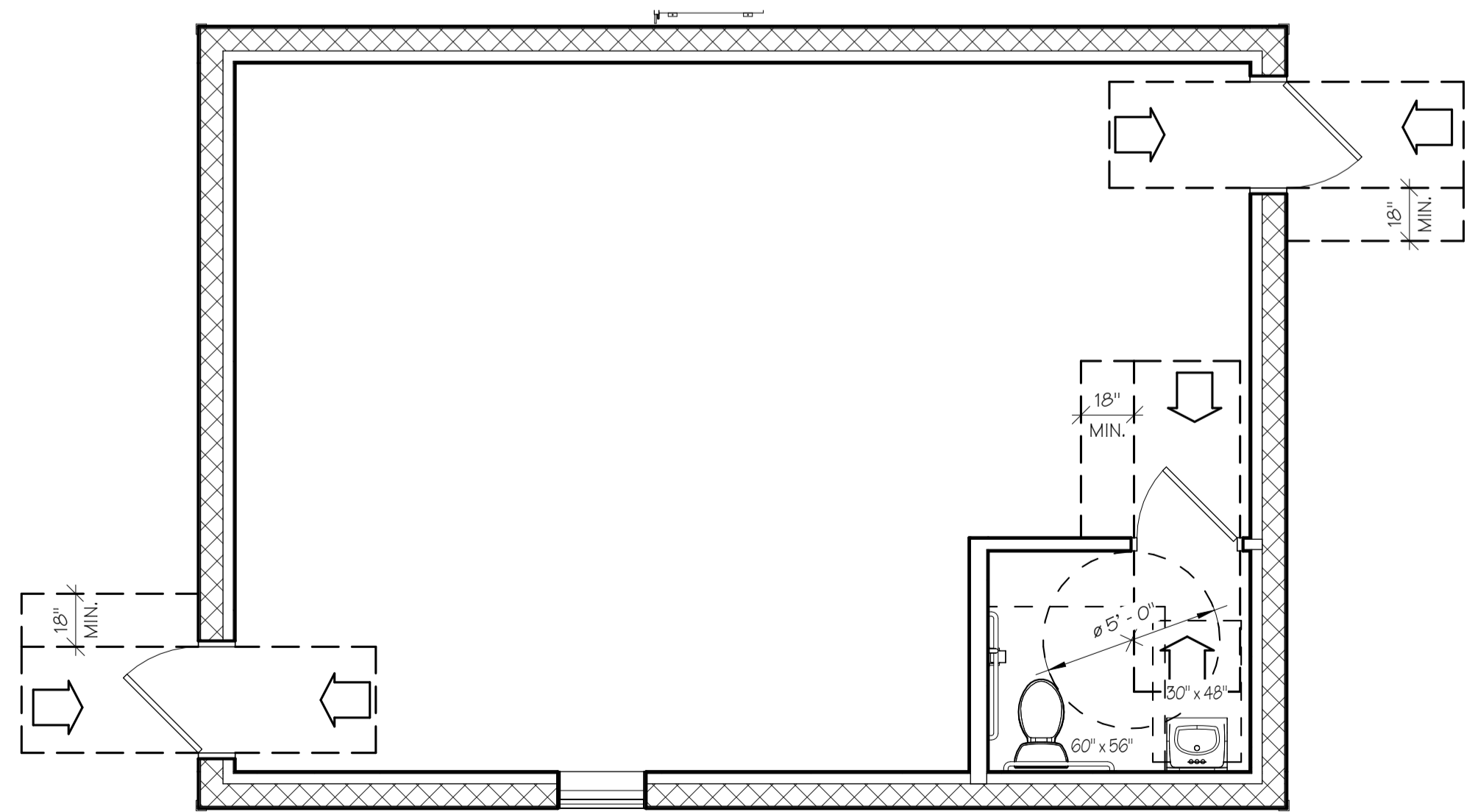
- ### GENERAL NOTES
- 1) CONTRACTOR SHALL FURNISH & INSTALL 4" BUILDING NUMBERS FOR STORM SHELTER AS REQUIRED BY CITY OR LOCAL POSTMASTER.
 - 2) CERTIFICATION OF R-38 CEILING INSULATION MUST BE POSTED IN ATTIC.
 - 3) STAIN & SEAL MILLWORK AS SPECIFIED.
 - 4) APPLY SILICONE CAULK BETWEEN CONCRETE AND BOTTOM OF THE DRYWALL.
 - 5) SEAL CONCRETE FLOOR TO REDUCE MOISTURE PENETRATION.

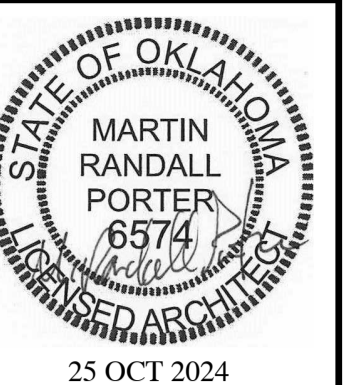


- ### STORM SHELTER BATH NOTES
- 1) INSTALL GRAB BARS WITH ROUND HEAD SCREWS.
 - 2) PROVIDE & INSTALL (1) 3/8" HORIZONTAL GRAB BAR BEHIND & (1) 42" HORIZONTAL GRAB BAR BESIDE WATER CLOSET ON WALL @ 34" A.F.F. & (1) 18" VERTICAL GRAB BAR BESIDE WATER CLOSET ON WALL @ 40" A.F.F. & 40" FROM REAR WALL. (SEE BATH ELEVATIONS SHEET A7.05)
 - 3) BOTTOM OF MIRROR TO REST ON TOP OF WALL HUNG LAVATORY BACKSPLASH.
 - 4) WALL HUNG SINK FAUCET TO BE LEVER TYPE, PIPES & TRAP TO BE WRAPPED W/ "TRAP WRAP" BY BROCAR PRODUCTS, INC. OR EQUAL.
 - 5) EXTEND VINYL FLOORING BENEATH LAV. SPACE.

STORM SHELTER FINISH SCHEDULE

NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
STORM SHELTER				
RESTROOM	LUXURY VINYL PLANK (GLUE-DOWN)	4" CERAMIC COVE	CERAMIC WALL TILE 4" TALL W/ PAINTED KNOCKDOWN FINISH ON GYP. BD. W/ ALUM. TRIM AT ALL EDGES	PAINTED KNOCKDOWN FINISH ON GYP. BD.
STORM SHELTER	LUXURY VINYL PLANK (GLUE-DOWN)	5 1/4" PRIMED & PAINTED WHITE PINE BASE	PAINTED KNOCKDOWN FINISH ON GYP. BD.	PAINTED KNOCKDOWN FINISH ON GYP. BD.





MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS LLC
Columbia, MO
P 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
CA01173

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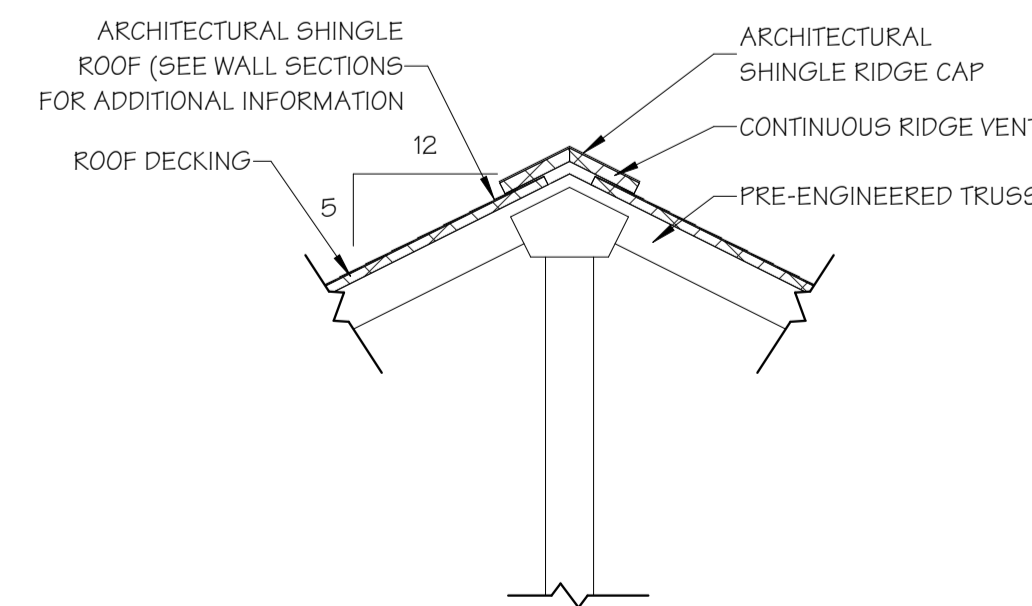
ATTIC COMPARTMENT VENTILATION				
NAME	AREA	TOTAL REQ'D VENT. (SQ. IN.)	SOFFIT VENT (SQ. IN.)	ROOF VENT (SQ. IN.)
ATTIC SPACE	790 SF	379	190	190

GENERAL ATTIC VENTILATION NOTES

- TOTAL FREE AREA SHALL EQUAL 1/300 OF ATTIC AREA'S W/50% OF VENT AREA WITHIN 3' VERTICAL OF ROOF PEAK AND 50% AT SOFFITS.
- SPECIFIED RIDGE VENT LENGTHS BASED ON 18 SQ. IN. FREE AREA PER LINEAL FOOT. ADJUST VENT LENGTH AS REQUIRED BASED ON FREE AREA OF SPECIFIC VENTILATOR USED.

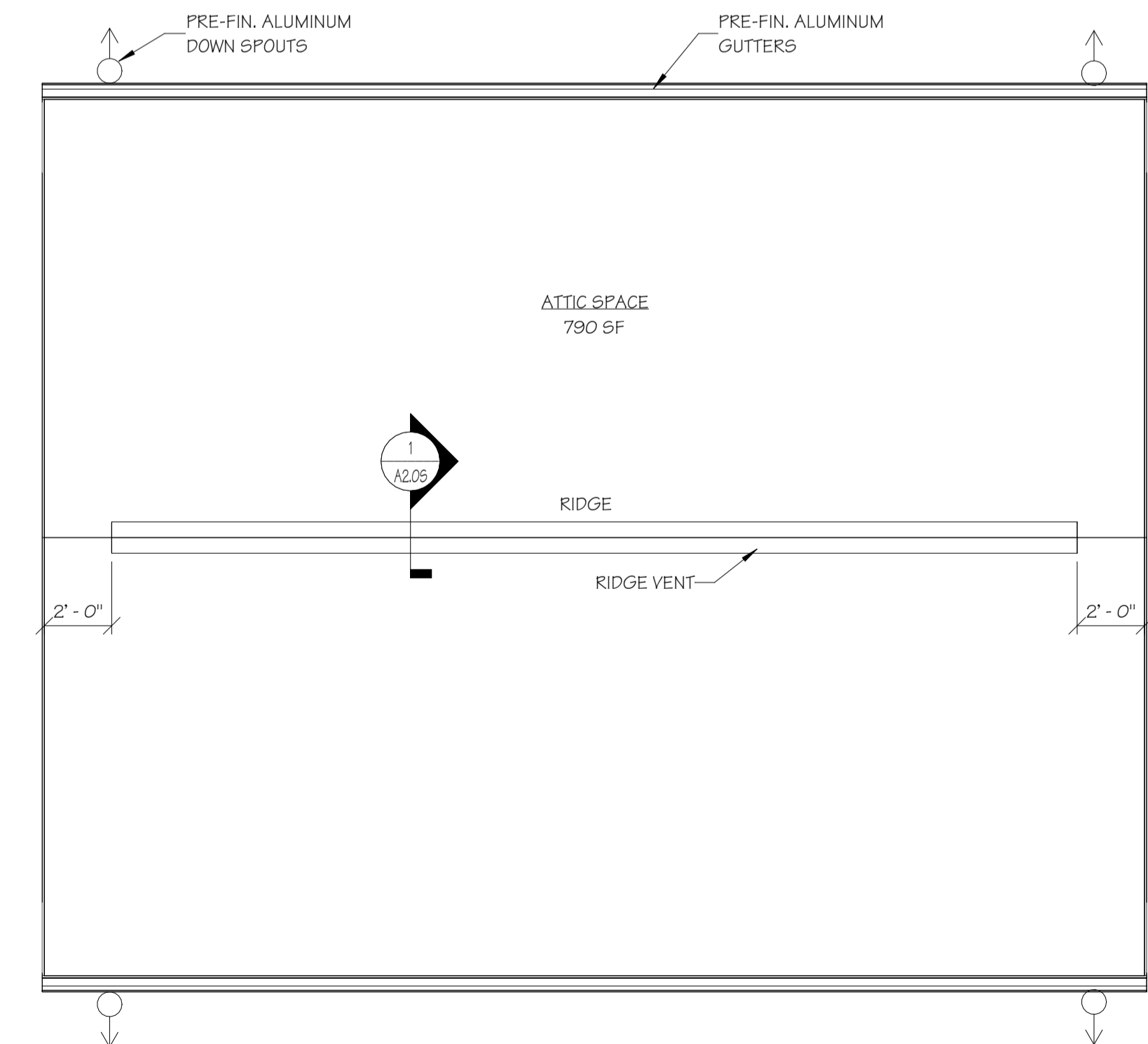
SPECIAL INSTRUCTION:
STRUCTURAL DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE OVER ANY DRAWING, DETAIL OR NOTE SHOWN ON THIS SHEET. CONTRACTORS, SUBCONTRACTORS, AND SUPPLIERS MUST REFERENCE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS BEFORE CONSTRUCTING, OR SUPPLYING ANY LOAD-BEARING, OR LOAD-RESISTING ELEMENT SHOWN ON THIS SHEET.

NOTE: REFER TO ATTIC COMPARTMENT VENTILATION TABLE & STORM SHELTER ROOF PLAN FOR ROOF VENTING REQUIREMENT AND PROPOSED LOCATION(S) OF RIDGE VENT MATERIAL.



ROOF VENT DETAIL

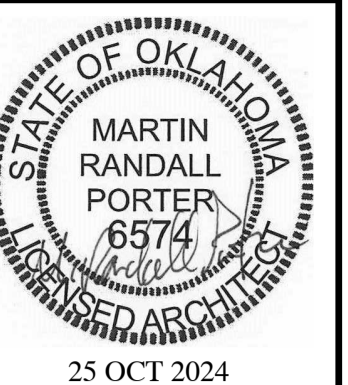
SCALE: 3/4" = 1'-0"



STORM SHELTER ROOF PLAN

SCALE: 1/4" = 1'-0"

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MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS LLC
Columbia, MO
P 973-256-7200

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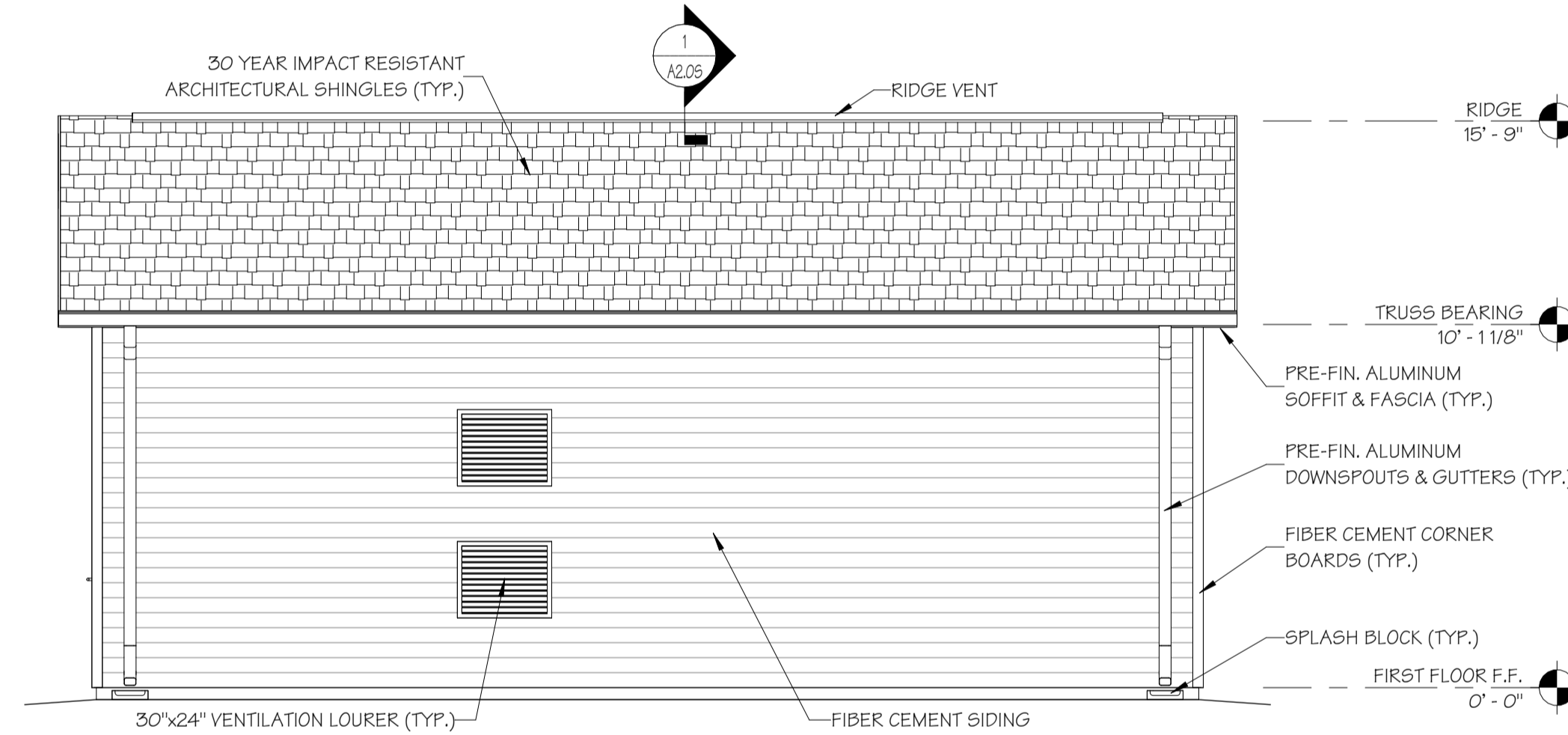
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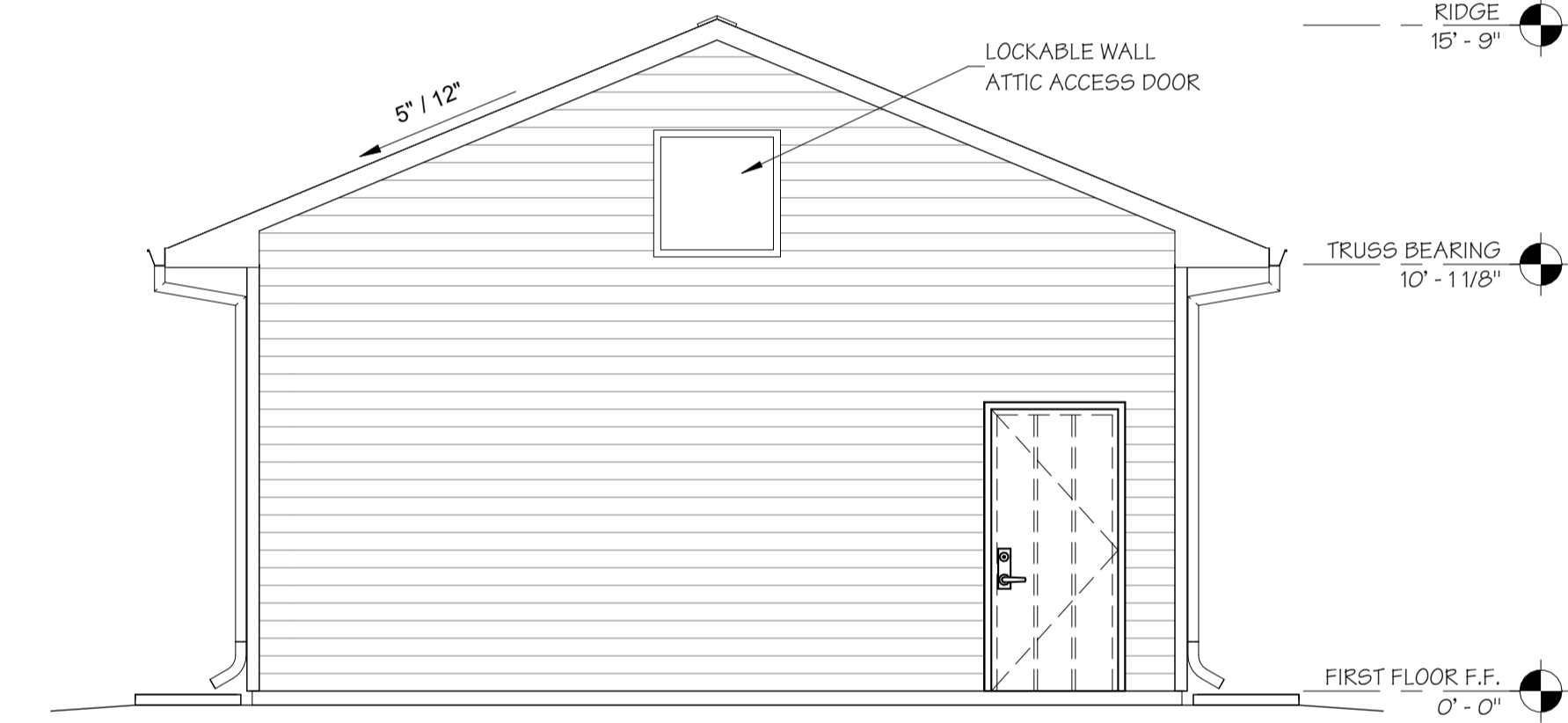
SHEET NO.
A3.0S

JOB NO.
4780

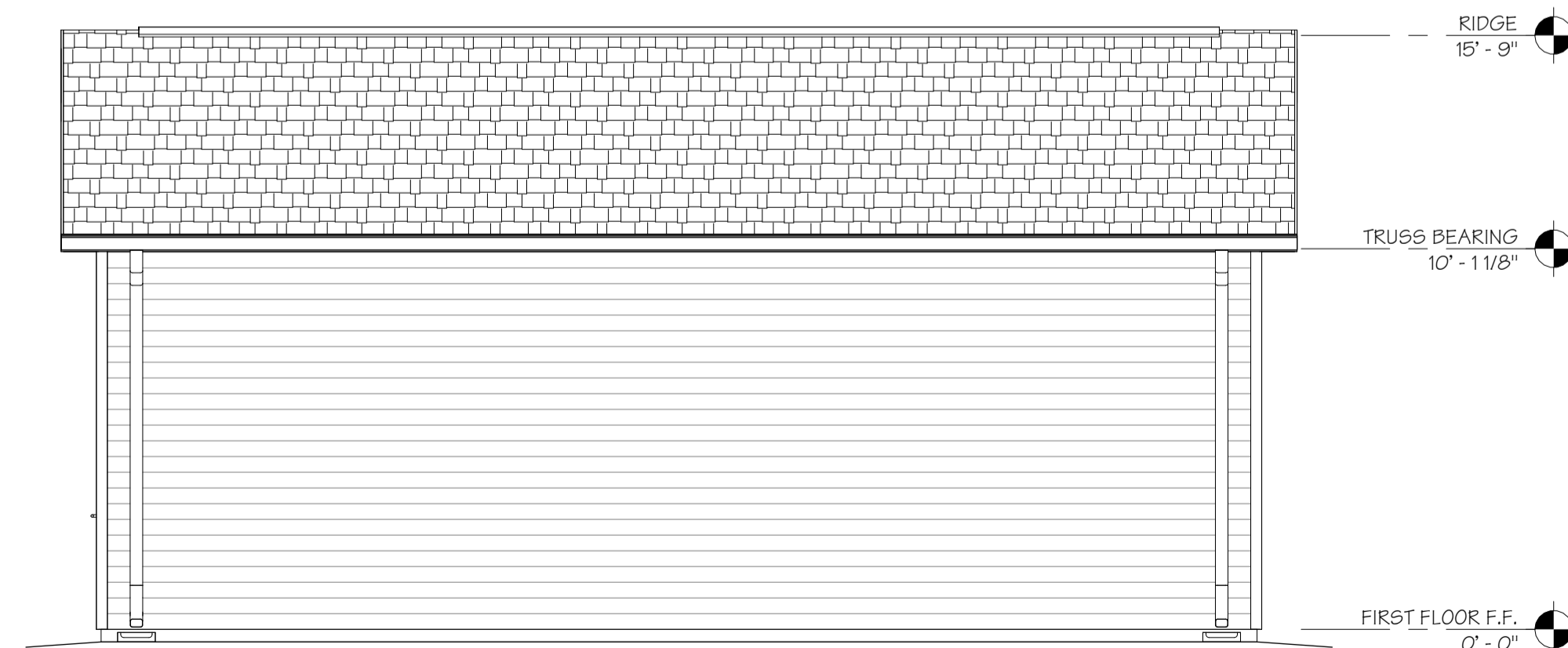
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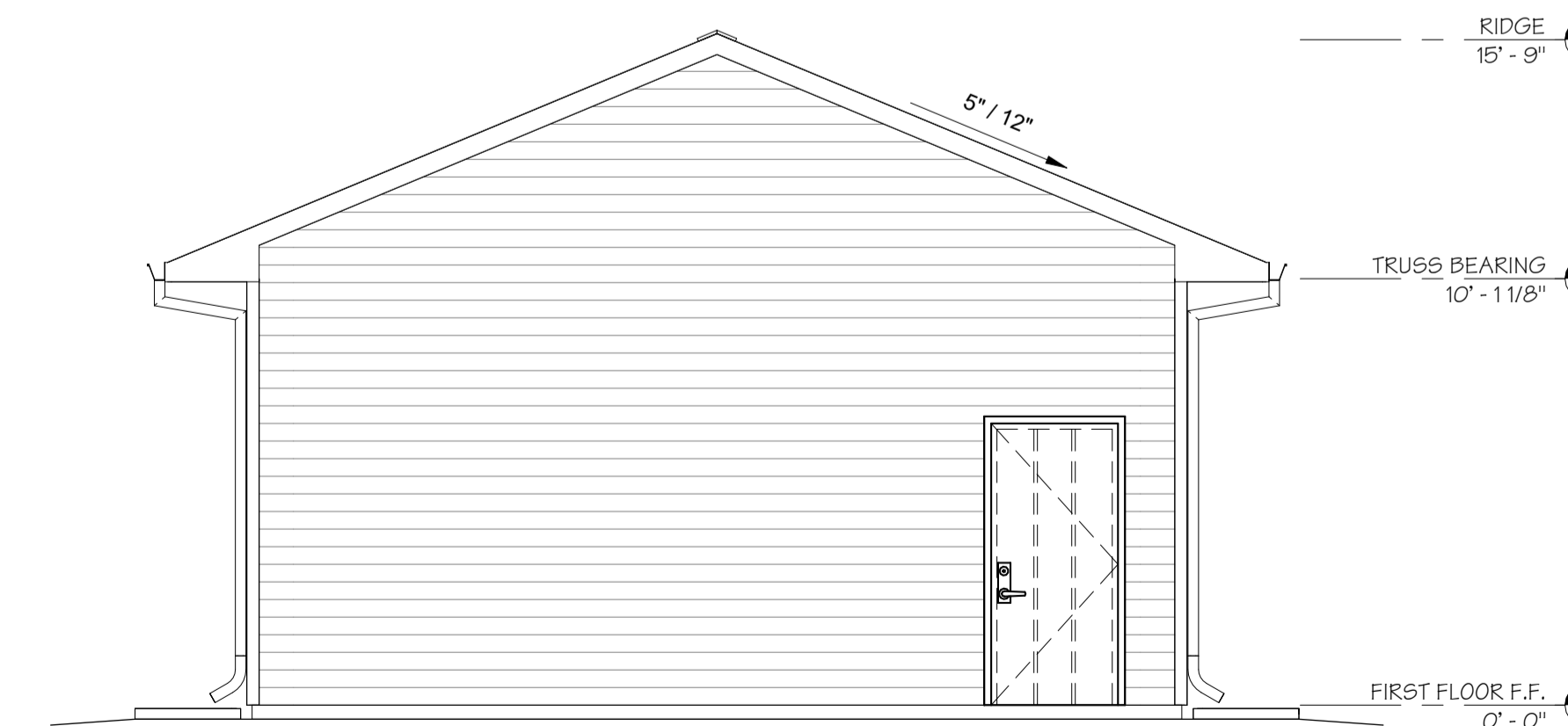
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



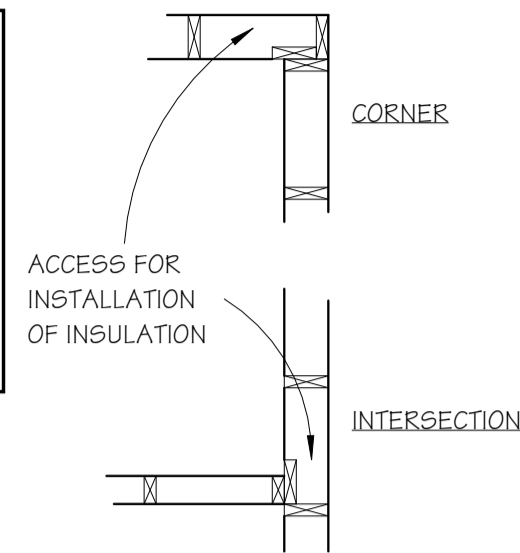
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ISSUE SET

NOTES
1. GAPS IN EXTERIOR WALL STUD CAVITIES SHALL BE BLOCKED @ CHANGES IN CEILING HEIGHT.
2. ALL CHASES TO BE SEALED & INSULATED.
3. NO POLYETHYLENE SHALL BE USED ON EXTERIOR WALLS.



EXT. WALL / ADVANCED FRAMING DETAIL

1
A4.0S SCALE: 1/2" = 1'-0"

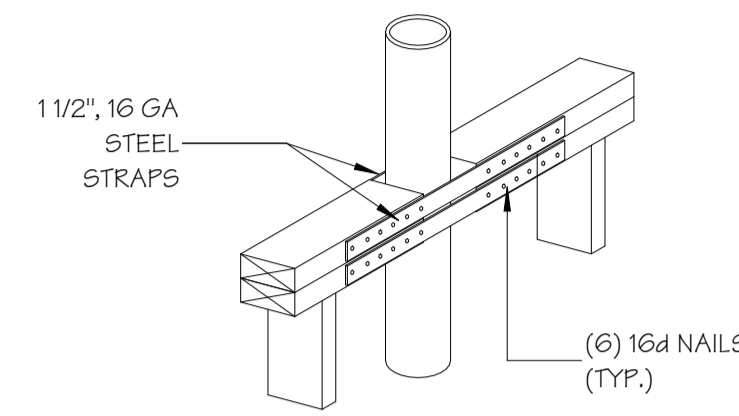
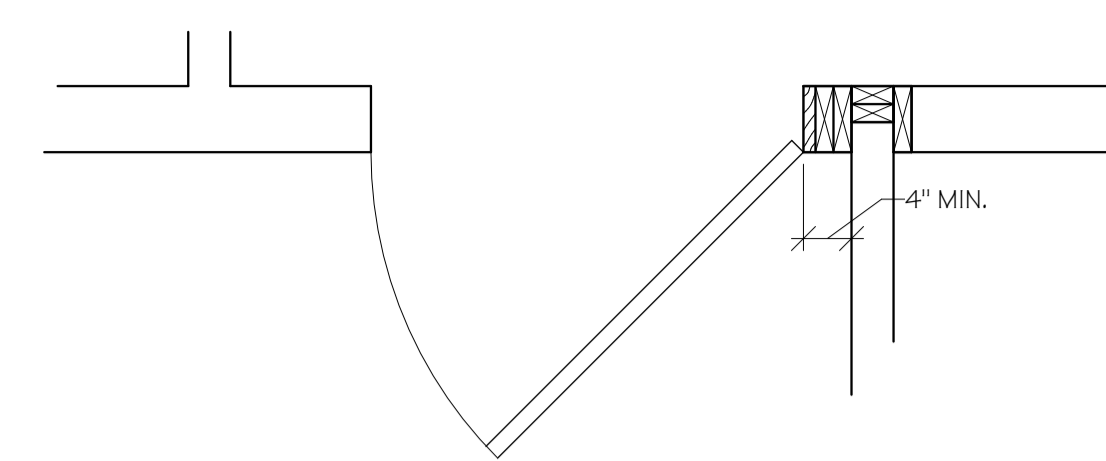


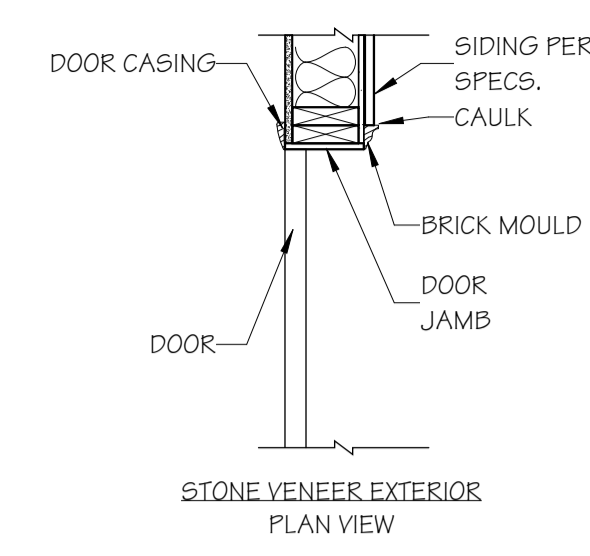
PLATE CUT DETAIL

2
A4.0S SCALE: 1" = 1'-0"



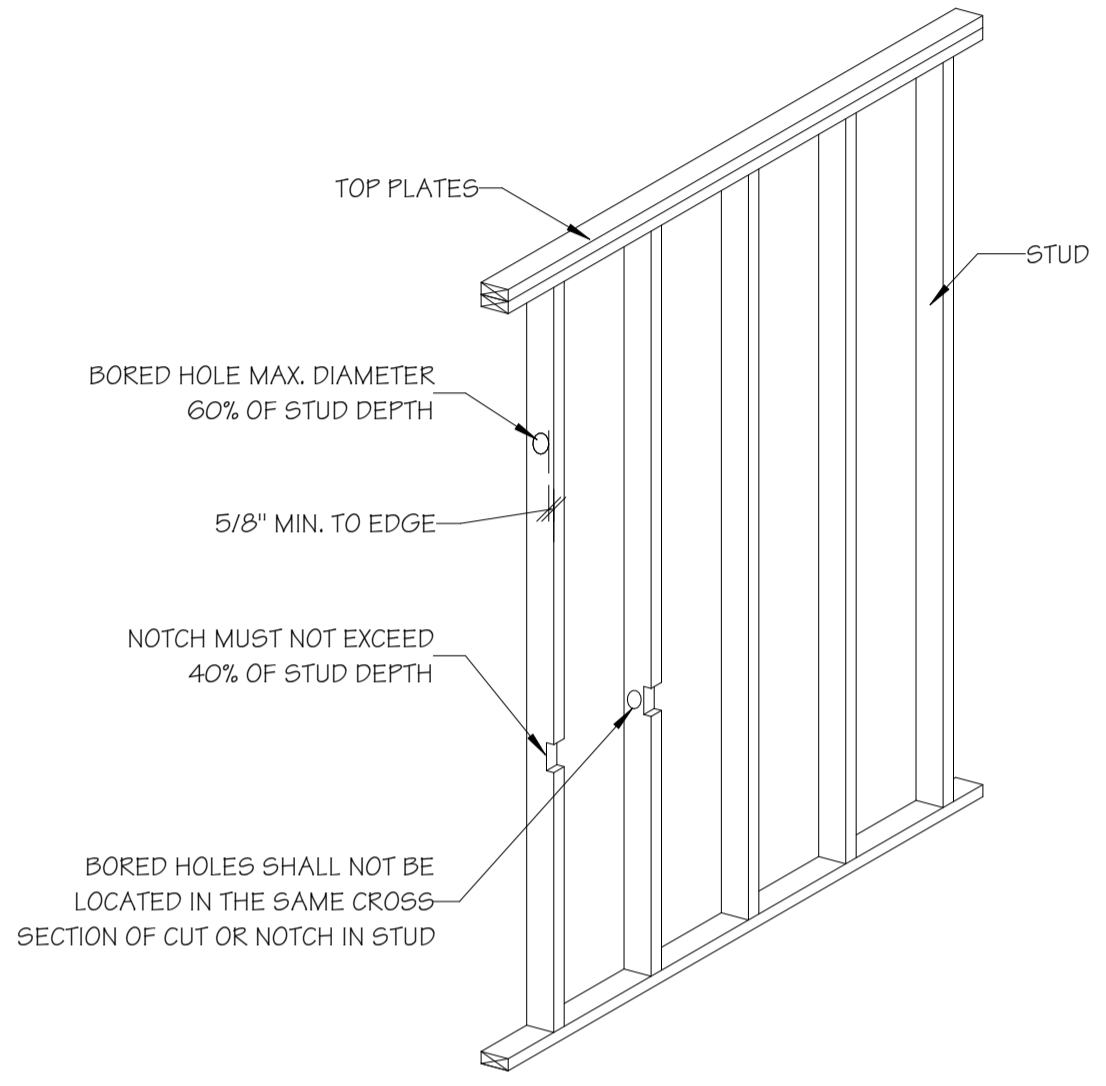
TYP. DOOR FRAMING DETAIL

3
A4.0S SCALE: 3/4" = 1'-0"



WALL SECTIONS AND DETAILS AT DOORS

4
A4.0S SCALE: 3/4" = 1'-0"



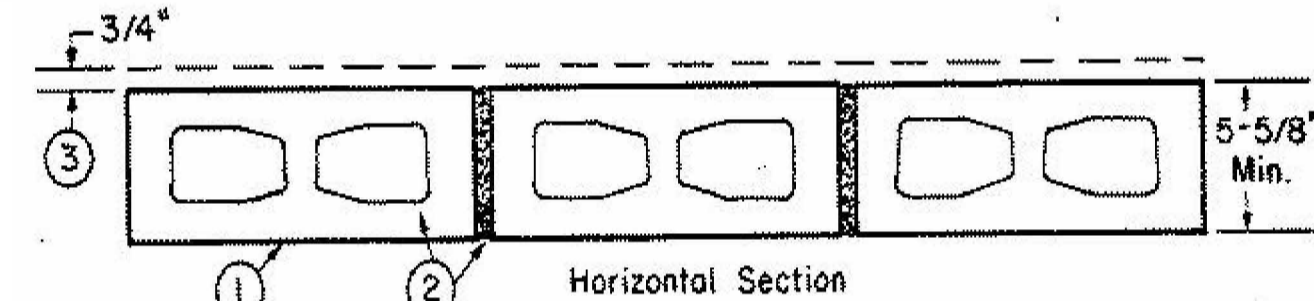
NON-LOAD BEARING WALL NOTCHING & BORING HOLE DETAILS

5
A4.0S SCALE: 1/2" = 1'-0"

Design No. U906
March 02, 2020
Bearing Wall Rating — 2 HR.
Nonbearing Wall Rating — 2 HR.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

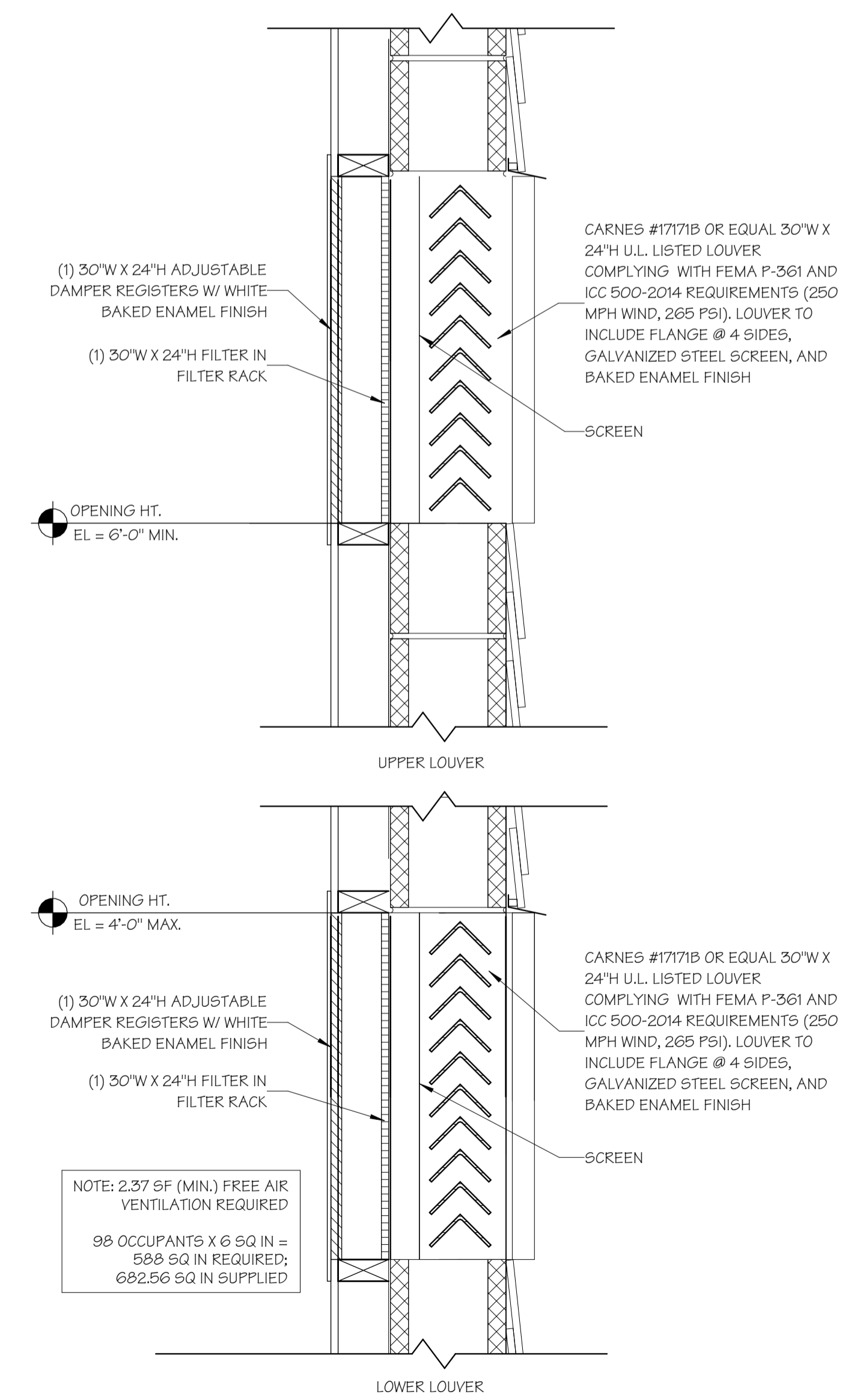


- Concrete Blocks*** — Nominal 6 by 8 by 16 in. hollow or solid. Various designs. Classification (2 hr). See **Concrete Blocks** category for list of eligible manufacturers.
ANCHOR CONCRETE PRODUCTS INC
GAGNE & SON CONCRETE BLOCK INC
GLENNWOOD MASONRY PRODUCTS
Allowable compressive stress of 57% of max allowable compressive stress in accordance with the empirical design method.
OLDCASTLE APG SOUTH INC, DBA ADAMS PRODUCTS
WESTBROOK CONCRETE BLOCK CO INC
Allowable compressive stress of 75.6% of max allowable compressive stress in accordance with the empirical design method.
- Mortar** — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
- Portland Cement Stucco or Gypsum Plaster** — Add 1/2 hr to Classification if used. Attached to concrete blocks (Item 1).
- Foamed Plastic*** — (Optional-Not Shown) — 1-1/2 in. thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).
ATLAS ROOFING CORP — "EnergyShield Pro Wall Insulation", "EnergyShield Pro 2 Wall Insulation", EnergyShield CGF Pro and EnergyShield Ply Pro

- CARLISLE COATINGS & WATERPROOFING INC** — Type R2+ SHEATHE
- DUPONT DE NEMOURS, INC.** — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax cI Exterior Insulation, Thermax XARMOR cI Exterior Insulation, Thermax IH Insulation, Thermax Plus Liner Panel, Thermax Heavy Duty Plus (HDP), TUFF-R™ cI Insulation, Thermax Butler StyWall Insulation Board and Thermax Morton Heavy Duty Insulation Board
- FIRESTONE BUILDING PRODUCTS CO L L C** — "Enverge™ CI Foil Exterior Wall Insulation" and "Enverge™ CI Glass Exterior Wall Insulation"
- HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC** — Types "Xci-Class A", "Xci 286", "Xci Foil (Class A)"
- RMAX, A BUSINESS UNIT OF SIKA CORPORATION** — Types "TSX-8500", "ECOMAXci FR", "TSX-8510", "ECOMAX xi FR White", "ECOMAXci", "ECOMAXci FR Air Barrier", "Thermasheath-XP", "Thermasheath", "Durasheath", "Thermasheath-3", "Durasheath-3".

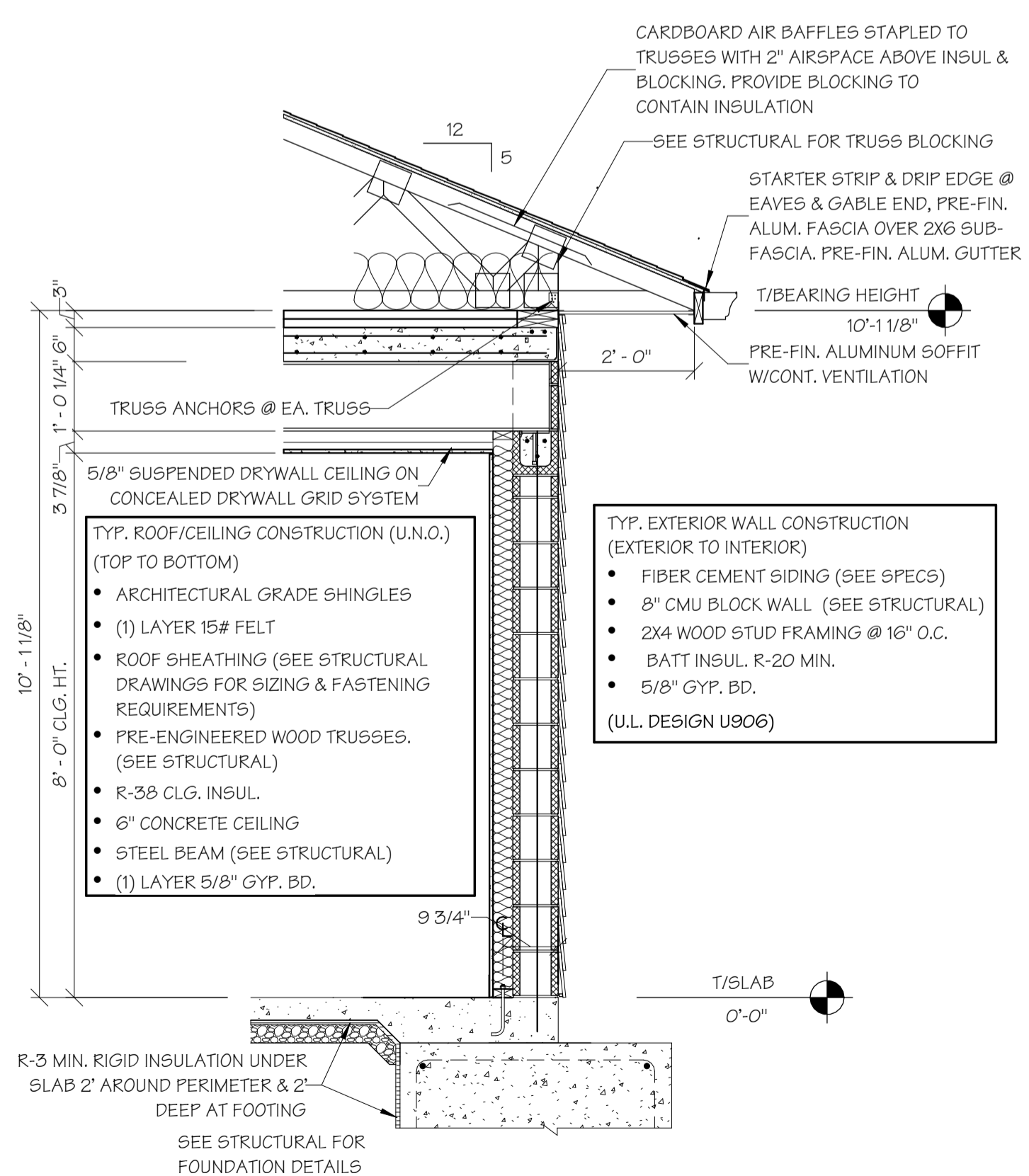
* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2020-03-02



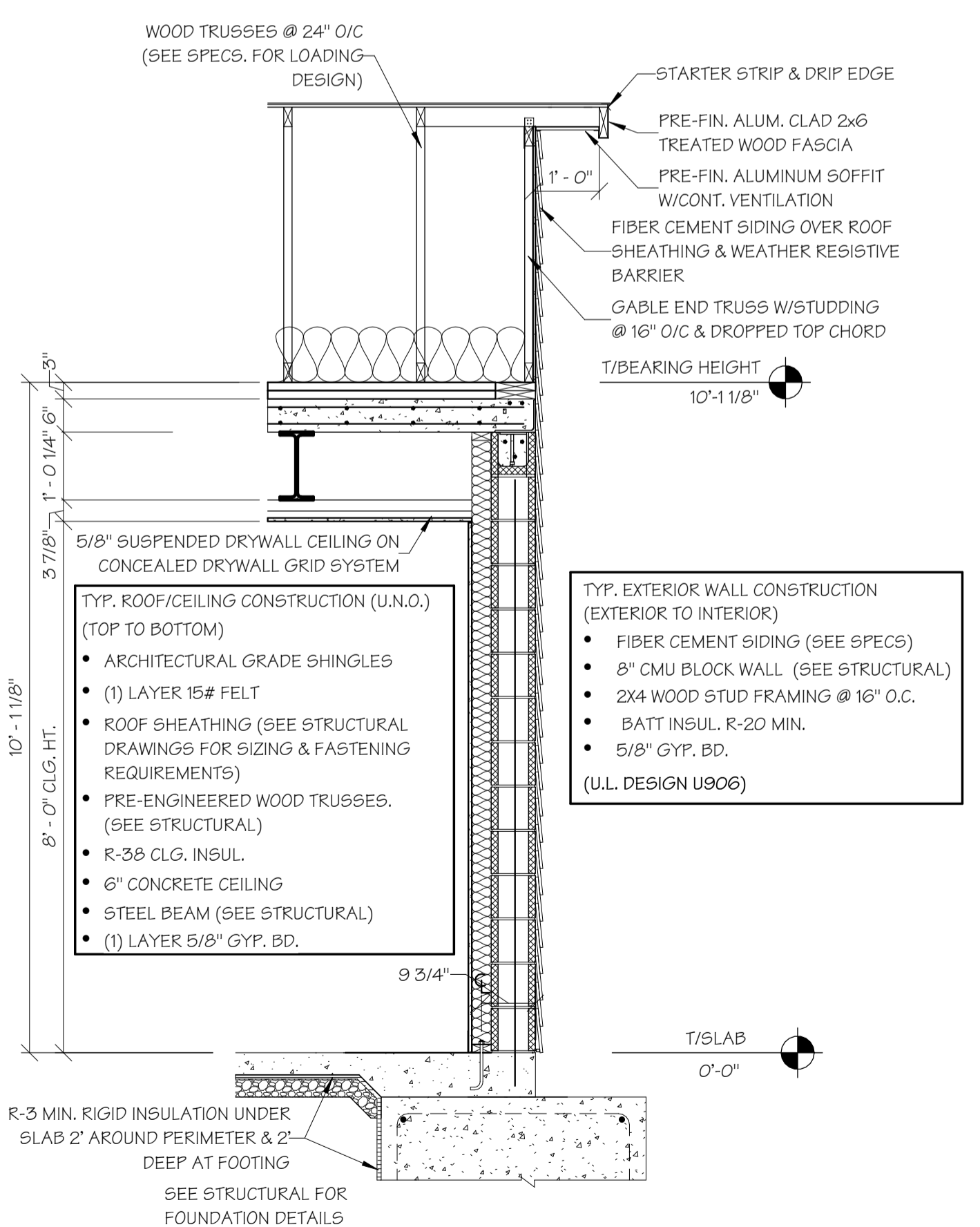
NATURAL VENTILATION LOUVER @ SIDING EXTERIOR

6
A4.0S SCALE: 1 1/2" = 1'-0"



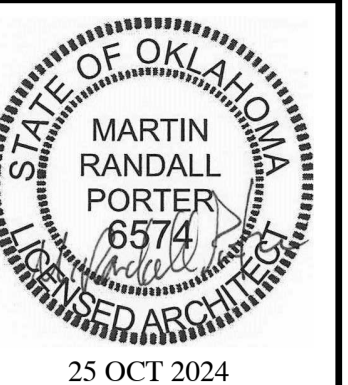
SIDE WALL SECTION WITH SIDING OVER BLOCK WALL

7
A4.0S SCALE: 1/2" = 1'-0"



GABLE WALL SECTION WITH SIDING OVER BLOCK WALL

8
A4.0S SCALE: 1/2" = 1'-0"



MARTIN RANDALL PORTER
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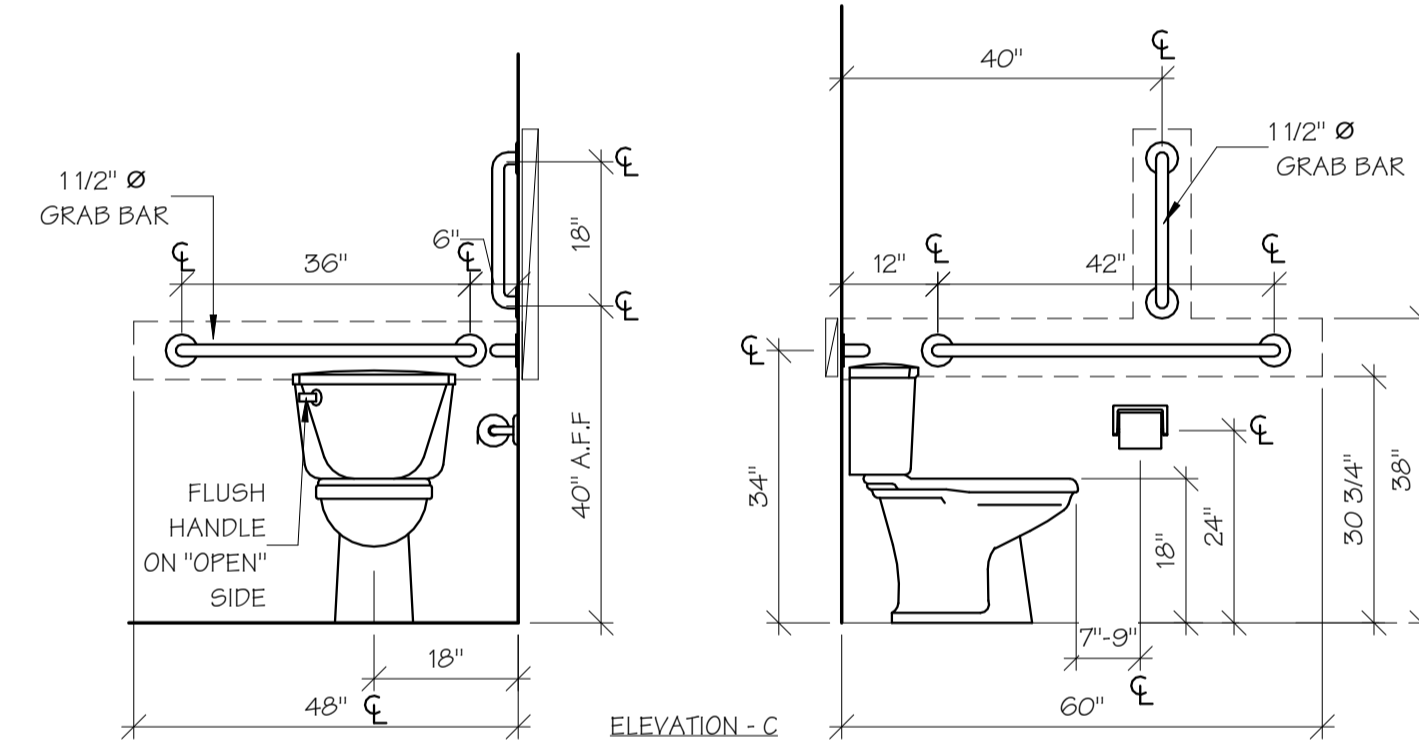
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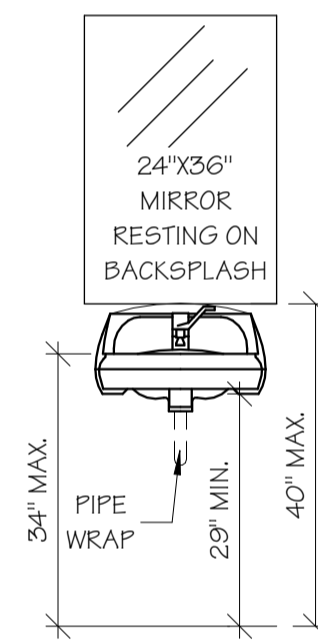
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JOB NO.
4780

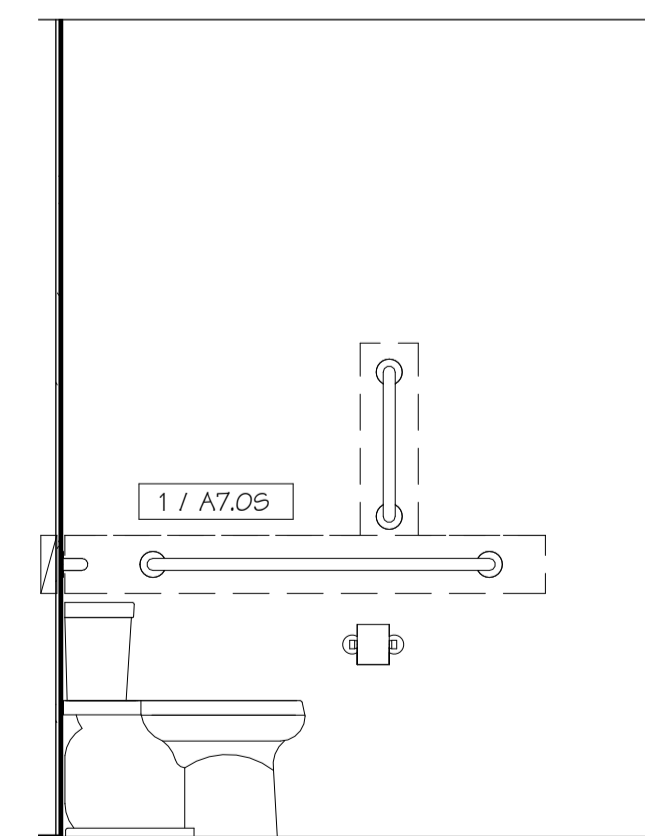
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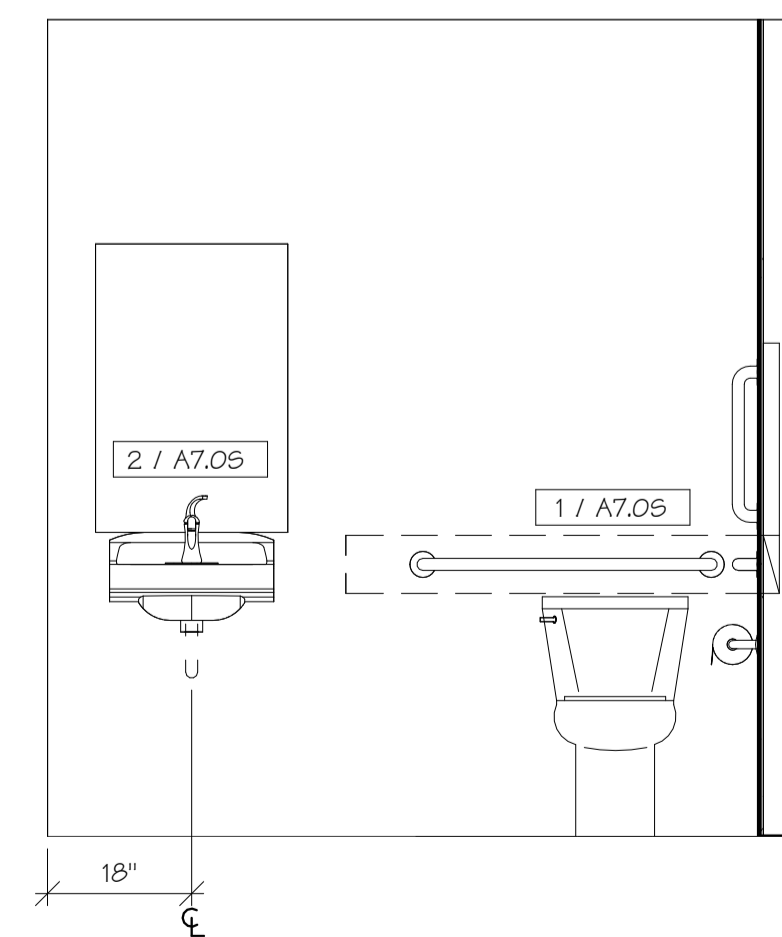
1 ADA TANK TYPE WATER CLOSET DETAILS
SCALE: 1/2" = 1'-0"



2 ACC. WALL HUNG LAVATORY
SCALE: 1/2" = 1'-0"

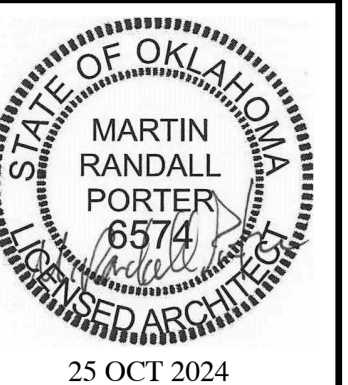


3 ADA RESTROOM ELEV. 1
SCALE: 1/2" = 1'-0"



4 ADA RESTROOM ELEV. 2
SCALE: 1/2" = 1'-0"

ISSUE SET



MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

GENERAL HVAC NOTES

- 1) ALL MECHANICAL WORK TO BE IN ACCORDANCE/COMPLIANCE WITH THE 2018 INTERNATIONAL MECHANICAL CODE.
- 2) AIR HANDLERS MUST BE COMPATIBLE WITH CONDENSING UNITS IN ORDER TO MAINTAIN SPECIFIED OPERATING EFFICIENCIES. ACCEPTABLE MANUFACTURERS ARE, MITSUBISHI, DAIKIN, CARRIER, LENNOX, RUUD, TRANE, YORK OR LG.
- 3) ALL ELECTRICAL DEVICES AND ENVIRONMENTAL CONTROLS TO BE MOUNTED BETWEEN 15" AND 48" A.F.F.
- 4) PROVIDE & INSTALL THERMOSTAT W/CONTROLS THAT ARE USER FRIENDLY TO ADJUST & EASY TO READ.
- 5) PROVIDE & INSTALL WALL MOUNTED EQUIPMENT BRACKET.

PENETRATION NOTE

ALL PENETRATIONS OF FLOORS, WALLS AND CEILINGS BY HVAC COMPONENTS (DUCTS, PIPING, GRILLES), PLUMBING COMPONENTS (PIPING, CLEAN-OUTS, VALVES), ELECTRICAL COMPONENTS (BOXES, WIRING, CONDUIT), ETC. SHALL BE PROPERLY AND EFFECTIVELY SEALED DURING CONSTRUCTION WITH PROPER MATERIALS AND NEATLY FINISHED. GYPSUM BOARD COMPOUND SHALL BE USED @ GYP. BD. OPENINGS, EXCEPT THAT EXPANDABLE FOAM MAY BE USED IN AREAS SUCH AS MECHANICAL ROOMS. MORTAR SHALL BE USED @ BRICK PENETRATIONS. CHROME ESCUTCHEONS SHALL BE USED @ PLUMBING PIPING PENETRATION OF WALLS. THE USE OF CAULKING AND PAINT @ THE TIME OF PUNCHLIST INSPECTIONS WILL NOT BE DEEMED ACCEPTABLE IN LIEU OF THE ABOVE.

FIRESTOP CAULKING NOTE

PROVIDE FIRESTOP CAULKING / SEALING OF ALL MECHANICAL PENETRATIONS @ FIRE RATED WALLS AND CEILING PER A SPECIFIC FIRESTOP SYSTEM / PRODUCT.

SPLIT HEAT PUMP SYSTEM SCHEDULE

MARK	DESCRIPTION	BASIS OF DESIGN		DESIGN CONDITIONS				PERFORMANCE AT DESIGN CONDITIONS				INDOOR UNIT AIRFLOW		ELECTRICAL				ENERGY EFFICIENCY (MIN.) SEER2	REFRIGERANT	COMMENTS				
		MANUFACTURER	MODEL		COOLING		HEATING		COOLING		HEATING		VOLTS	RECOMMENDED BREAKER SIZE	HERTZ	PHASE								
			OUTDOOR UNIT	INDOOR UNIT	INDOOR	OUTDOOR	INDOOR	OUTDOOR	SENS. CAP. FACTOR	LAT. CAP. FACTOR	TOTAL CAP. (BTU/HR)	CAPACITY (BTU/HR)					CFM				ESP (IN. WG)			
HP-1 (OUTDOOR) FC-1 (INDOOR)	M SERIES, SINGLE ZONE MINI-SPLIT	MITSUBISHI	MUZ-FS18NA	MSZ-FS18NA	5.56	80°F	67%	95°F	75°F	70°F	47°F	.69	-	17,200	19	C 335 ON HIGH H 410 ON HIGH	-	208/230	20 AMP	60	1	2.1	R410A	1,2,3

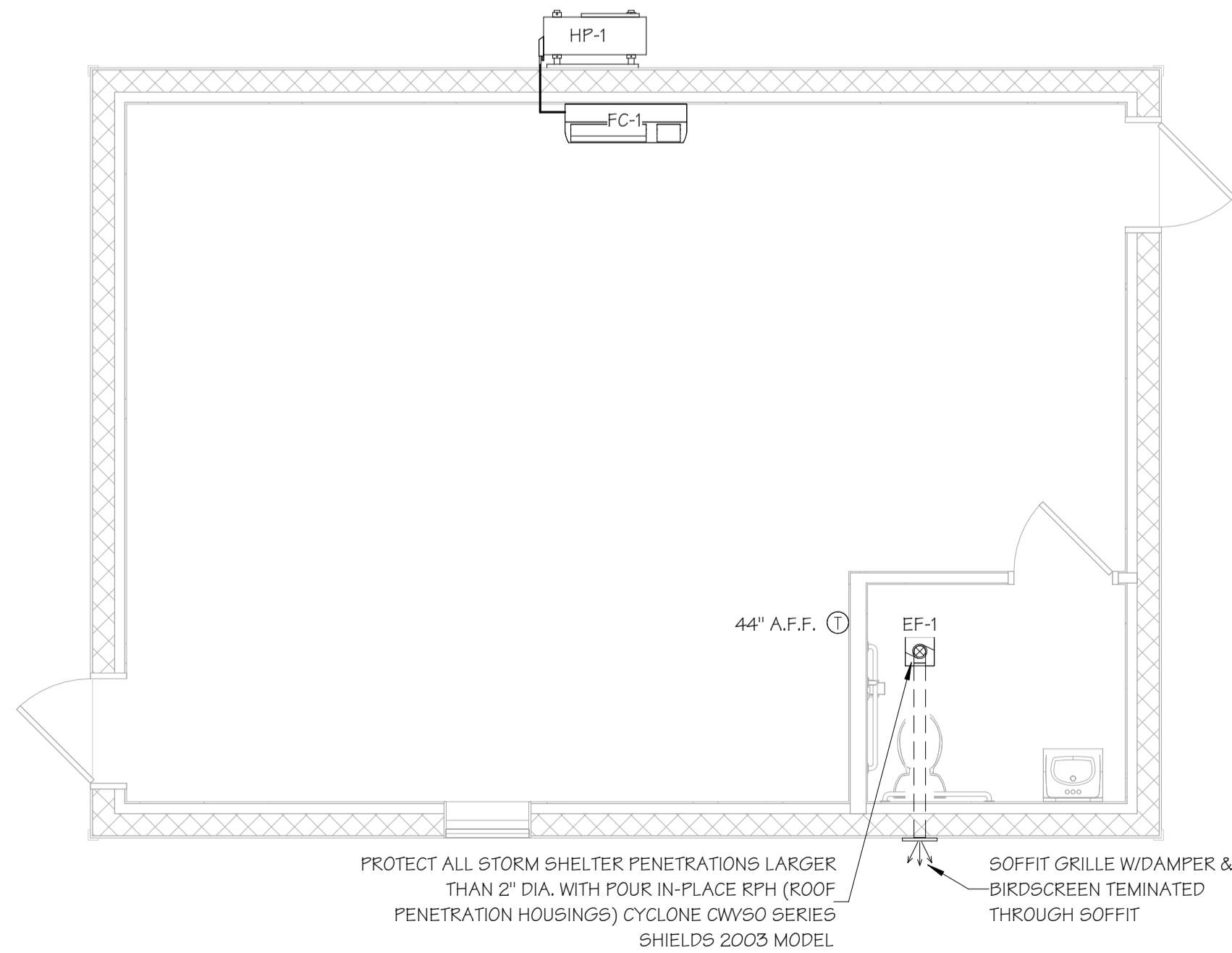
COMMENTS:
 1 WALL MOUNT EXTERIOR UNIT WITH OUTDOOR MOUNTING BRACKET.
 2 PROVIDE BACKLIT HAND CONTROLLER
 3 HVAC CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR SPECIFIC EQUIPMENT USED AND COORDINATE SAME WITH THE ELECTRICAL CONTRACTOR
 4 PER THE AMERICAN INNOVATION AND MANUFACTURING ACT OF 2020, RESIDENTIAL AND LIGHT COMMERCIAL AIR CONDITIONERS & HEAT PUMPS MANUFACTURED AFTER JAN. 1, 2025, MUST USE ONE OF THE TWO NEW A2L REFRIGERANTS, (R-32 OR 454B). EQUIPMENT MANUFACTURED PRIOR TO JAN. 1, 2025, HAS A ONE-YEAR GRACE PERIOD TO BE INSTALLED (JAN. 1, 2026, INSTALLATION DEADLINE).

HVAC EQUIPMENT

EXHAUST FAN (EF-1)	EXHAUST FAN (ENERGY STAR CERTIFIED) - BROAN AE80 OR EQUAL, 80 CFM, 0.550NES, SWITCHED BATH FAN SHALL BE FURNISHED AND INSTALLED BY SUB CONTRACTOR AS CHOSEN BY GENERAL CONTRACTOR. CONNECT TO FOUR IN-PLACE CYCLONE VENT THROUGH ROOF (RPH).
--------------------	--

LEGEND

- EXHAUST FAN
- SMOOTH METAL INSUL. DUCT
- LOUVERED VENT W/ BIRDSCREEN
- THERMOSTAT



1 STORM SHELTER HVAC PLAN

M1.05 SCALE: 1/4" = 1'-0"

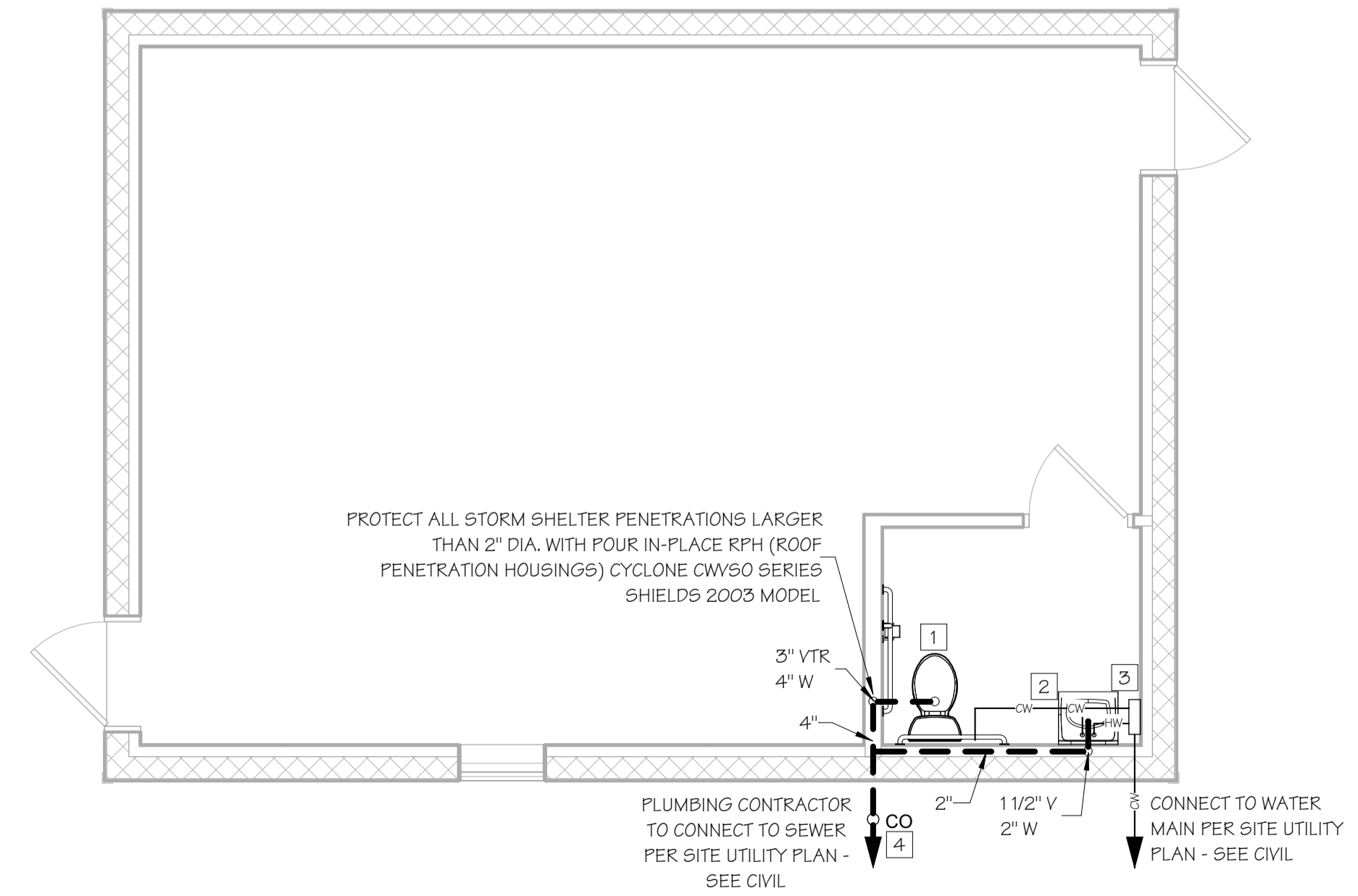
PLUMBING FIXTURE SCHEDULE

MARK	ITEM	MFG	CAT. NO.	SUPPLY	FEED	WASTE	VENT	REMARKS
1	WATER CLOSET (ACCESSIBLE)	MANSFIELD	135-3173	WHEEL HANDLE STOPS & ESCUTCHEON	1/2"	4"	3"	SMART HEIGHT UFAS COMPLIANT, ELONGATED FRONT, VITREOUS CHINA, TWO PIECE TOILET WITH HIGH IMPACT, HEAVY DUTY CLOSED FRONT SEAT AND LID. PROVIDE PROFLO TANK, MODEL #PF613WH. WATER SENSE COMPLIANT. 1.28 GPF MAX. INSTALL PROFLO TOILET SEAT, MODEL #PFTSE200WH.
2	LAVATORY	AMERICAN STANDARD	0355.012.020	WHEEL HANDLE STOPS & ESCUTCHEON	1/2"	1/2"	2"	WHITE VITREOUS CHINA, MOEN 893B FAUCET, DEARBORN BRASS 760-1 GRID DRAIN, P-TRAP
3	WATER HEATER	EEMAX FLOWCO	EPEX1812	WHEEL HANDLE STOPS & ESCUTCHEON	3/4"	-	-	SINGLE SINK TANKLESS, 1,800 WATT, 120V
4	CLEAN OUT	ZURN OR EQUAL	-	-	-	-	-	MATCH PIPE SIZE

NOTE: CONTRACTOR MAY ELECT TO PROVIDE "OR EQUAL" FIXTURES TO THOSE SPECIFIED/LISTED UPON APPROVAL BY OWNER/ARCHITECT

PLUMBING LEGEND

- HOT WATER
- COLD WATER
- SEWER LINE



2 STORM SHELTER PLUMBING PLAN

M1.05 SCALE: 1/4" = 1'-0"

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
ARCHITECTS LLC
Columbia, MO
P 573-256-7200

OKLAHOMA STATE
CERTIFICATE OF AUTHORITY:
CA01173

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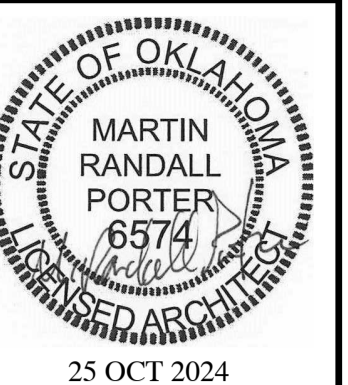
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SHEET NO. **M1.05**

JOB NO.
4780

ISSUE SET

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25 OCT 2024
MARTIN RANDALL PORTER
ARCHITECT LICENSE #6574

RIVER BEND VILLAS - STORM SHELTER
CHICKASHA, GRADY COUNTY, OKLAHOMA

Wallace
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Columbia, MO
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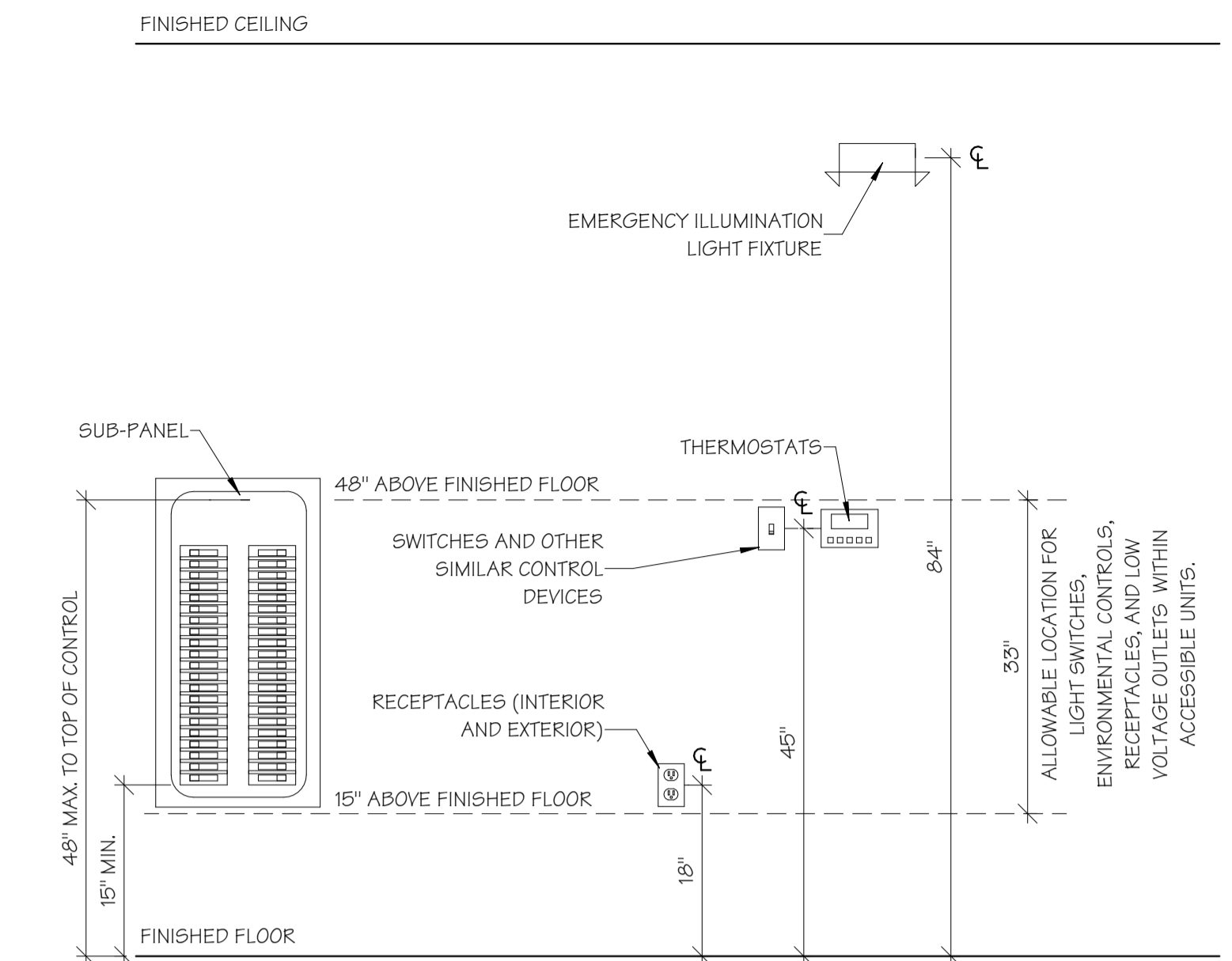
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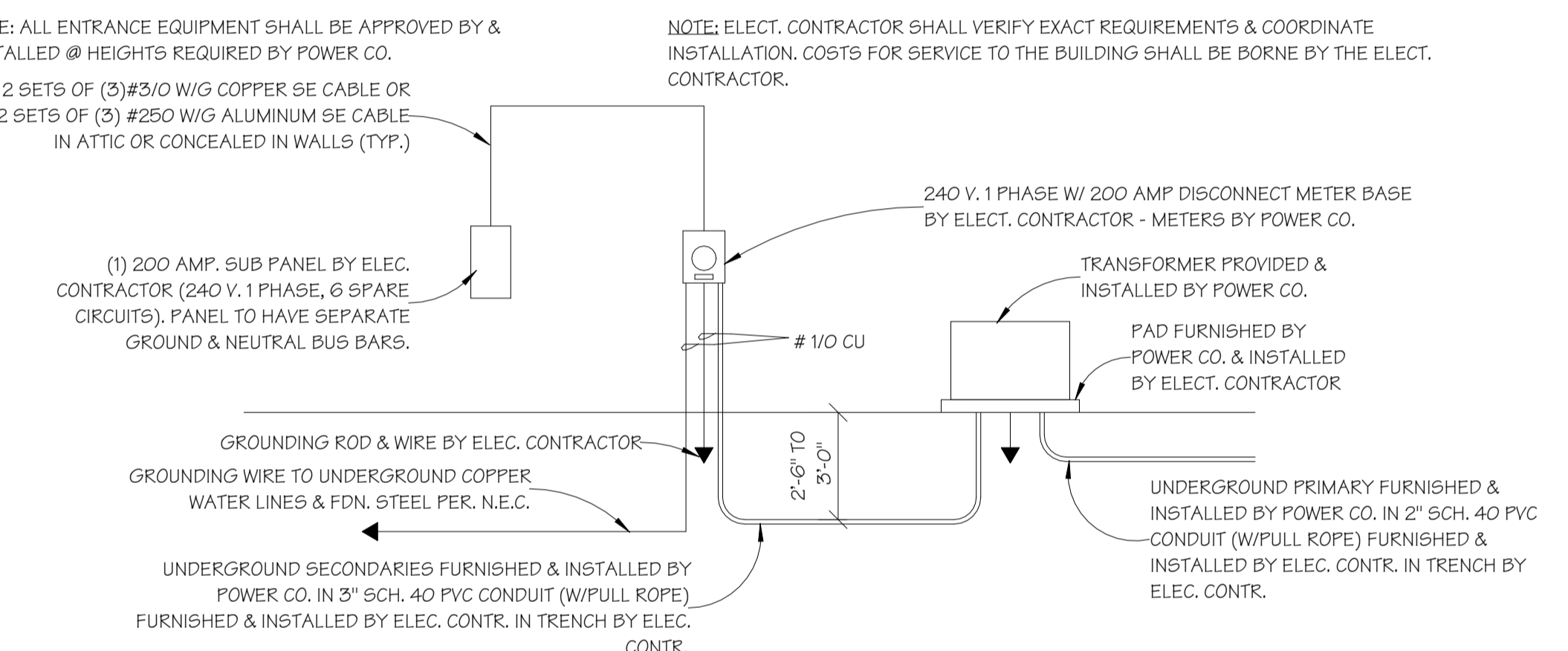
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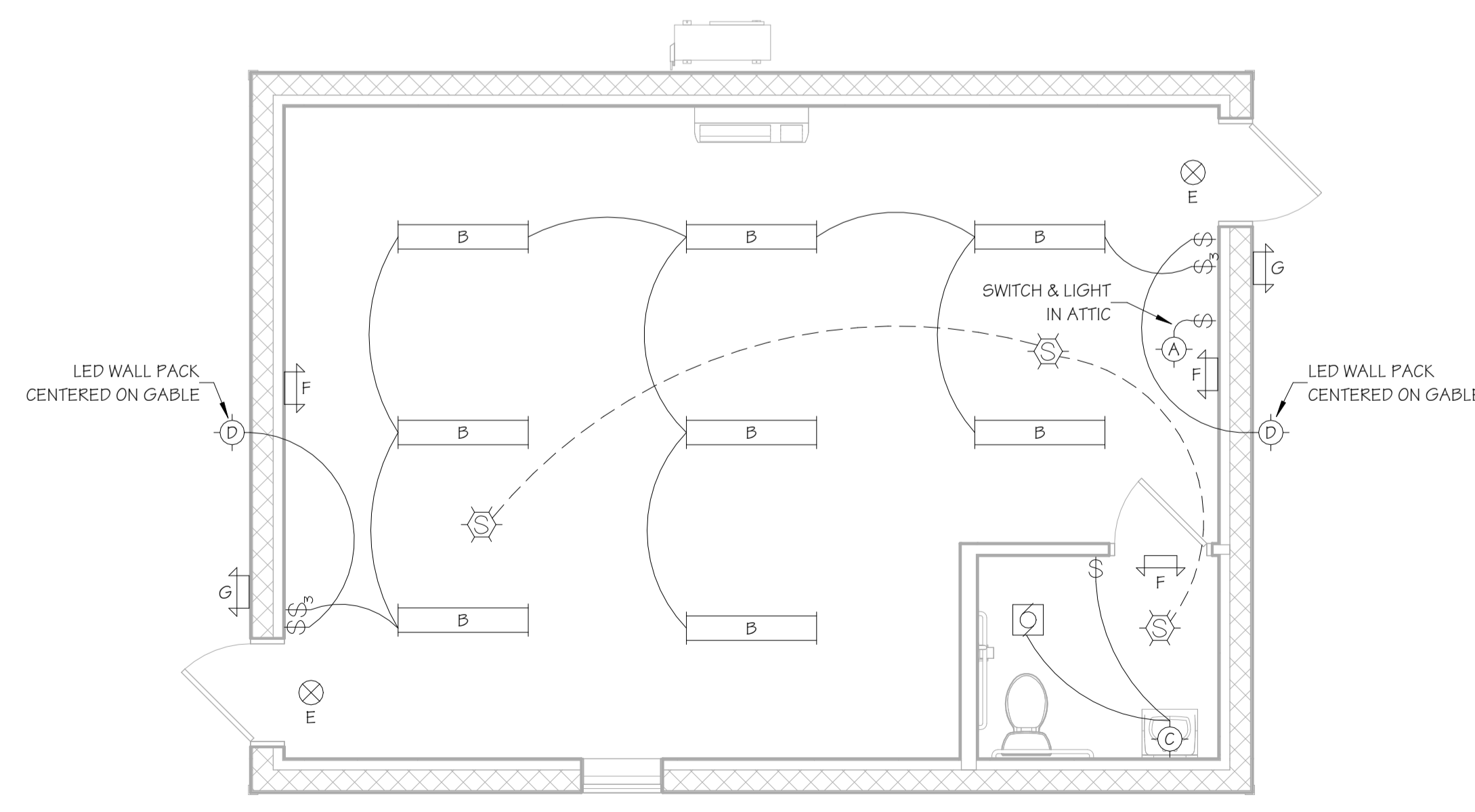
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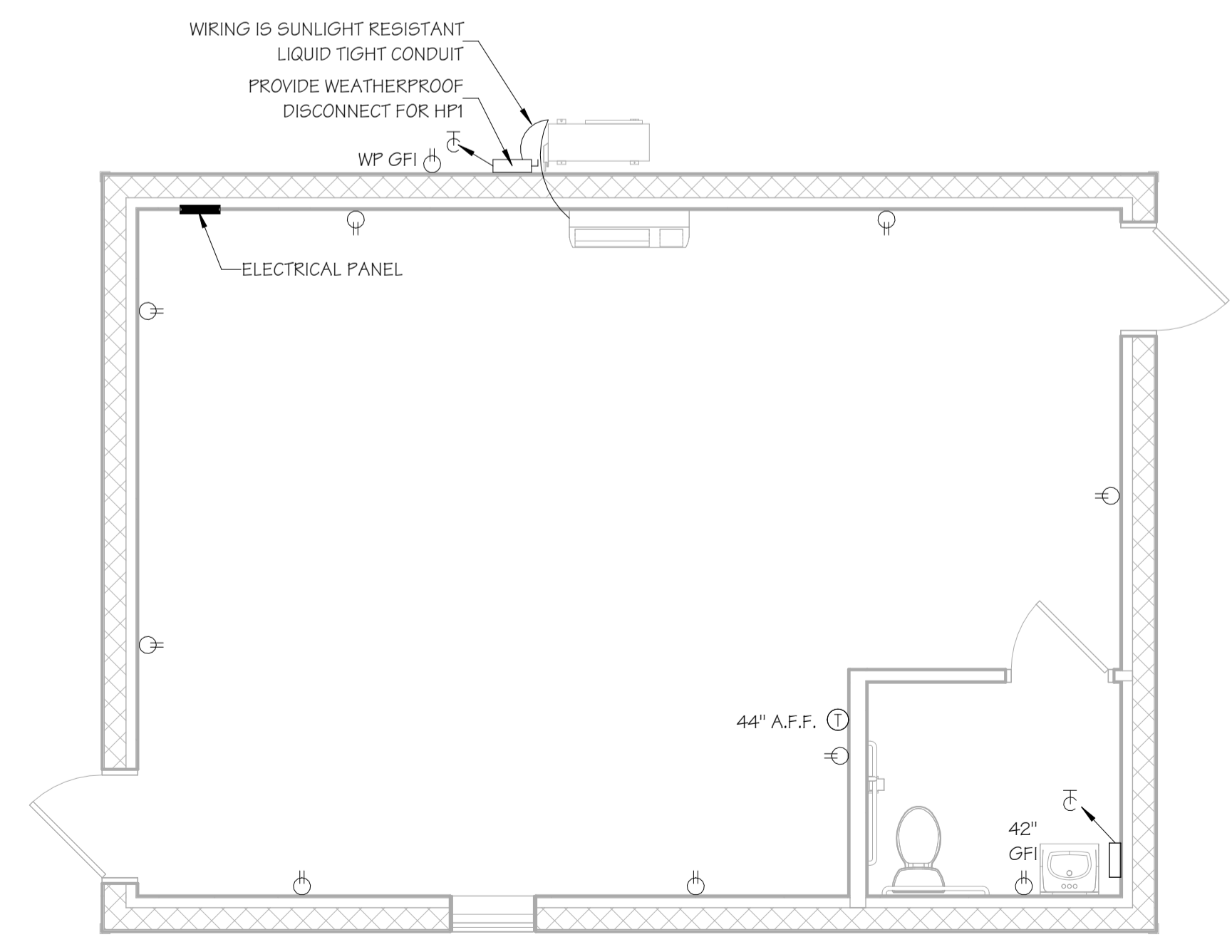
1
E1.0S SCALE: 3/4" = 1'-0"



2
E1.0S SCALE: 1/4" = 1'-0"



3
E1.0S SCALE: 1/4" = 1'-0"



4
E1.0S SCALE: 1/4" = 1'-0"

ISSUE SET

ELECTRICAL FIXTURE SCHEDULE

MARK	MFG	CATALOG #	WATTS	MOUNT	REMARKS
A	LEVITON	9875	(1) 10W LED ENERGY STAR	CEILING	(1) LIGHT, PORCELAIN FINISH
B	LITHONIA	FMLWL-48-840-2T-MVOLT	(1) 40W	CEILING	FLUSH MOUNT, COOL WHITE, 48"L x 2.5"W x 5.5"H
C	HAMPTON BAY	EEGMI393-4/ORB	(3) 60W EQUIVALENT A 19 LED SOFT-WHITE	WALL	(3) LIGHT, ALABASTER GLASS, OIL RUBBED BRONZE FINISH
D	LITHONIA	WDGE2 LED P3 30K	23W	WALL	DARK BRONZE, WIDE THROW, INTEGRAL PHOTOCCELL
E	DUAL LITE	LTURW3-03L	(2) 6W LED	SURFACE	LED EMERGENCY/EXIT
F	DUAL LITE	EV2	(2) LED	SURFACE	LED EMERGENCY LIGHT, INTERIOR
G	DUAL LITE	EV2D	(2) LED	SURFACE	LED EMERGENCY LIGHT, EXTERIOR

1. THE ABOVE FIXTURE SCHEDULE IS FOR OWNERS USE IN THE SELECTION OF LIGHT FIXTURES - OWNER MAY CHOOSE TO SELECT ALTERNATE LIGHT FIXTURES OF EQUAL TYPE.
2. ALL FIXTURES TO HAVE LED BULBS.

ELECTRICAL LEGEND

Ⓢ	ONE WAY SWITCH
ⓈⓈ	THREE WAY SWITCH
ⓈⓈⓈ	FOUR WAY SWITCH
Ⓢ	120 V. RECEPTACLE
Ⓢ	240 V. RECEPTACLE
Ⓢ	TELEPHONE JACK
Ⓢ	DATA JACK
Ⓢ	TELEPHONE/DATA JACK
Ⓢ	TELEVISION JACK
Ⓢ	KEYPAD
Ⓢ	ELECTRICAL PANEL
Ⓢ	CIRCUIT TO PANEL
Ⓢ	J-BOX
Ⓢ	DISCONNECT
Ⓢ	EXHAUST FAN MOTOR
Ⓢ	MOTOR CONNECTION
Ⓢ	PUSHBUTTON
Ⓢ	DOOR CHIME
Ⓢ	THERMOSTAT
Ⓢ	LIGHT, WALL MOUNT
Ⓢ	LIGHT, CEILING MOUNT INCANDESCENT
Ⓢ	LIGHT, SURFACE MOUNT FLUORESCNET
Ⓢ	CEILING FAN
Ⓢ	EXIT LIGHT/EMERGENCY LIGHT W/BATTERY BACKUP, SINGLE FACED
Ⓢ	EXIT LIGHT/EMERGENCY LIGHT W/BATTERY BACKUP, DOUBLE FACED
Ⓢ	EMERGENCY LIGHT W/BATTERY BACKUP
Ⓢ	SMOKE DETECTOR
Ⓢ	SMOKE DETECTOR W/STROBE
Ⓢ	FIRE ALARM HORN STROBE
AFCI	ARC FAULT CIRCUIT INTERRUPTER
GFI/GFCI	GROUND FAULT CIRCUIT INTERRUPTER
WP	WEATHERPROOF

NOTE: SWITCH & OUTLET HEIGHTS NOTED ON PLANS SHALL BE TO THE BOTTOM OF THE BOX.

ELECTRICAL NOTES

- AS REQUIRED, WIRING IN WALLS SHALL BE NEATLY INSTALLED. ALL WIRING SHALL BE SECURELY FASTENED TO SIDE OF STUDS IF RUN VERTICALLY.
- PLACE REQUIRED RECEPTACLES AT 15" A.F.F. EXCEPT AS NOTED OTHERWISE.
- PLACE REQUIRED SWITCHES AT 48" MAX. A.F.F. (U.N.O.)
- SWITCH & OUTLET HEIGHTS NOTED ON PLANS SHALL BE TO THE BOTTOM OF THE BOX.
- REQUIRED WIRING DONE IS TO BE WITH COPPER WIRE. ALUMINUM WIRE IS NOT TO BE USED.
- PROVIDE GFCI OUTLETS OR GFCI BREAKERS FOR PROTECTION OF OUTLETS AS REQUIRED BY 2020 NEC, INCLUDING THE FOLLOWING: BATHROOM, OUTDOOR AND KITCHEN.
- ELECTRICAL CONTRACTOR SHALL LABEL ALL CIRCUITS IN PANEL.
- SWITCHES TO BE 15 AMP, SILENT SWITCH, EQUAL TO HUBBELL 1221-1.
- INSTALLATION OF EXHAUST FAN SHALL BE REFERENCED TO SPECIFICATION, TO VERIFY VENTING PROCEDURE (NOT IN ATTIC).

GFCI NOTE

INSTALL NEW GFCI DEVICES AND COVERS AT 120 VOLT 15 OR 20 AMP CIRCUITS PER 2020 NEC

PENETRATION NOTE

ALL PENETRATIONS OF FLOORS, WALLS AND CEILINGS BY HVAC COMPONENTS (DUCTS, PIPING, GRILLES), PLUMBING COMPONENTS (PIPING, CLEAN-OUTS, VALVES), ELECTRICAL COMPONENTS (BOXES, WIRING, CONDUIT), ETC. SHALL BE PROPERLY AND EFFECTIVELY SEALED DURING CONSTRUCTION WITH PROPER MATERIALS AND NEATLY FINISHED. GYPSUM BOARD COMPOUND SHALL BE USED @ GYP. BD. OPENINGS, EXCEPT THAT EXPANDABLE FOAM MAY BE USED IN AREAS SUCH AS MECHANICAL ROOMS. MORTAR SHALL BE USED @ BRICK PENETRATIONS. CHROME ESCUTCHEONS SHALL BE USED @ PLUMBING PIPING PENETRATION OF WALLS. THE USE OF CAULKING AND PAINT @ THE TIME OF PUNCHLIST INSPECTIONS WILL NOT BE DEEMED ACCEPTABLE IN LIEU OF THE ABOVE.